

RESOLUTION NO. 2021-145

A RESOLUTION BY THE BOARD OF COUNTY COMMISSIONERS OF ST. JOHNS COUNTY, FLORIDA, AUTHORIZING THE COUNTY ADMINISTRATOR, OR HIS DESIGNEE, TO IMPLEMENT A SUBRECIPIENT CONTRACT FOR ALPHA-OMEGA MIRACLE HOME, INC., FOR THE PURPOSE OF INCREASING THE SUPPLY OF AFFORDABLE HOUSING IN ST. JOHNS COUNTY.

RECITALS

WHEREAS, the St. Johns County Affordable Housing Grant Program provides grants to eligible organizations to fund a wide range of activities to provide affordable housing for very low, low, and moderate income residents of St. Johns County; and

WHEREAS, on January 28, 2019, the County issued a Notice of Funding Availability, which invited eligible organizations to submit proposals for funding under the Community Development Block Grant (CDBG) Program; and

WHEREAS, Alpha-Omega Miracle H, Inc. submitted a timely application for grant funds in response to the Notice of Funding Availability. This application proposed an approach to increasing the supply of Affordable Housing within St. Johns County, based on the extensive experience of the Grantee; and

WHEREAS, on May 17, 2019, an independent committee evaluated Grantee's application and scored it among the top three applications received; and

WHEREAS, Staff of the Housing and Community Services Division worked with Grantee to modify their proposal so as to maximize the number of affordable housing units that the Grantee could produce, and recommended it for funding; and

WHEREAS, Grantee proposes to install a sewer line to serve their campus on Collins Avenue which will offer affordable rental housing and housing and services for families and senior citizens who have experienced homelessness; and

WHEREAS, on May 5, 2020, CDBG funds were removed from the budget approved for affordable housing projects, in order to re-allocate those funds to address urgent needs related to the COVID-19 Pandemic; and

WHEREAS, on July 7, 2020, the St. Johns County Board of County Commissioners approved Resolution 2020-232, which authorized the sale of a parcel of County-owned land in the

Nocatee area; and

WHEREAS, the proceeds of the sale authorized by Resolution 2020-232 will provide funding for affordable housing projects, including the project proposed by the Grantee.

NOW THEREFORE, BE IT RESOLVED BY THE BOARD OF COUNTY COMMISSIONERS OF ST. JOHNS COUNTY:

Section 1. Incorporation of Recitals.

The above recitals are incorporated by reference into the body of this resolution and such recitals are adopted as findings of fact.

Section 2. Approval and Authority to Execute.

The Board of County Commissioners hereby approves the attached Subrecipient Agreement and authorizes the County Administrator, or his designee, to execute the agreement on behalf of the County.

Section 3. Correction of Errors.

To the extent that there are typographical or administrative errors or omissions that do not change the tone, tenor, or context of this resolution, this resolution may be revised without subsequent approval of the Board of County Commissioners.

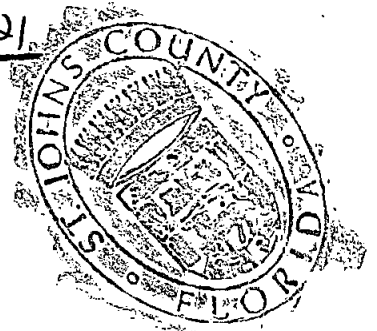
PASSED AND ADOPTED by the Board of County Commissioners of St. Johns County Florida this 0 day of April 2021.

BOARD OF COUNTY
COMMISSIONERS OF ST. JOHNS
COUNTY
By: Jeremiah R. Blocker
Jeremiah R. Blocker, Chair

ATTEST: Brandon J. Patty
Clerk of the Circuit Court & Comptroller

By: Sam Halterman
Deputy Clerk

RENDITION DATE 4/8/21



**ST. JOHNS COUNTY
AFFORDABLE HOUSING GRANT AGREEMENT**

THIS AGREEMENT is entered into this _____ day of _____, 20____ between St. Johns County (the County), a political subdivision of the state of Florida, and Alpha-Omega Miracle Home, Inc. (Grantee), a Florida not-for-profit corporation.

RECITALS

WHEREAS, the St. Johns County Affordable Housing Grant Program provides grants to eligible organizations to fund a wide range of activities to provide affordable housing for very low, low, and moderate income residents of St. Johns County; and

WHEREAS, on January 28, 2019, the County issued a Notice of Funding Availability, which invited eligible organizations to submit proposals for funding under the Community Development Block Grant (CDBG) Program; and

WHEREAS, Grantee submitted a timely application for grant funds in response to the Notice of Funding Availability. This application proposed an approach to increasing the supply of Affordable Housing within St. Johns County, based on the extensive experience of the Grantee; and

WHEREAS, on May 17, 2019, an independent committee evaluated Grantee's application and scored it among the top three applications received; and

WHEREAS, Staff of the Housing and Community Services Division worked with Grantee to modify their proposal so as to maximize the number of affordable housing units that the Grantee could produce, and recommended it for funding; and

WHEREAS, the Grantee proposes to install approximately 2,500 feet of sewer line, described in Exhibit C. The purpose of this activity is to provide sewer utilities to an affordable housing campus that will provide at least 60 units of affordable rental housing for low- to moderate-income individuals or households as defined in 24 CFR 570.3; and

WHEREAS, on May 5, 2020, CDBG funds were removed from the budget approved for affordable housing projects, in order to re-allocate those funds to address urgent needs related to the COVID-19 Pandemic; and

WHEREAS, on July 7, 2020, the St. Johns County Board of County Commissioners approved Resolution 2020-232, which authorized the sale of a parcel of County-owned land in the Nocatee area; and

WHEREAS, the proceeds of the sale authorized by Resolution 2020-232 will provide funding for affordable housing projects, including the project proposed by the Grantee.

NOW THEREFORE, in consideration of the provisions set forth below, the sufficiency of which is mutually acknowledged, the County and the Grantee agree as follows:

1. **Incorporation of Recitals.** The above recitals are incorporated into the body of this agreement and are adopted as findings of fact.
2. **Duration of Agreement.** This agreement shall commence upon execution by both parties and shall terminate two years from the effective date. Any request for an extension of time beyond the termination date must be submitted to the County in writing no later than 30 days prior to the termination of this agreement. The request shall state the reason that the extension is being requested and the length of time of the requested extension. The County shall have complete discretion with respect to whether to approve or deny a timely-submitted request.
3. **Scope of Services.** The Grantee shall perform the services set forth in Exhibit A, the contents of which are incorporated into this agreement. Any modification to the scope of services shall require written advance notice and justification from the Grantee and the prior written approval of the County.
5. **Funding.** The County agrees to reimburse the Grantee for allowable costs in connection with the Grantee's performance of the services set forth in Exhibit A. The maximum amount of funding that the Grantee is eligible to receive under this agreement is one hundred sixty one thousand two hundred ninety-one dollars (\$161,291.00). It is expressly acknowledged that the funding amount does not constitute the full cost of the scope of services. It is the Grantee's sole responsibility to obtain the necessary funds to complete the scope of services.

Payments to the Grantee under this agreement shall be made on a reimbursement basis. Grantee shall submit a request for reimbursement to the County by the 15th day of each month. The request for reimbursement shall include a detailed written report of the work accomplished and the expenses incurred in connection with the scope of services. To be eligible for reimbursement under this agreement, expenses must be necessary and reasonable for the effective and efficient accomplishment of the scope of work. Project costs are generally described in Exhibit A.

The County may return a request for reimbursement and request additional information regarding its contents. Under such circumstances, the timeframe for payment shall be extended by the time necessary to receive the requested information. Upon receipt and verification of the request for reimbursement, the County shall process the request and forward payment to the Grantee within 30 days of verification.

It is strictly understood that Grantee is not entitled to the above-referenced amount of compensation. Rather, Grantee's compensation is based on the Grantee adhering to the scope of services set forth in Exhibit A. Grantee's compensation is dependent upon satisfactory completion and delivery of all work product and deliverables noted in the scope of services and detailed in this agreement.

6. Status Reports. Except as provided below, during the term of this Agreement, Grantee shall submit quarterly status reports to the County. The report shall include a description of the master plan to build utility lines to the affordable housing Alpha Omega Miracle Home Campus, any problems encountered, and any other relevant information with respect to the progress of the scope of work. Quarterly reports shall be submitted to the County by the following dates: December 15, March 15, June 15, and September 15. Additionally, Grantee shall submit an annual report to the County, as provided in Exhibit A, describing how the project has positively affected affordable housing in St. Johns County.

7. Retention, Auditing, and Review of Records. Grantee shall retain all supporting documentation, statistical records, and any other records necessary to document its expenditures during the term of this Agreement for 5 years from the final payment. If any litigation, claim, negotiation, audit, or other action involving the records is initiated prior to the expiration of the 5-year period, the records shall be retained for one year after the final resolution of the action.

Grantee authorizes the County to review, inspect, and/or audit its books and records in order to determine whether compliance has been achieved with respect to the provisions of this Agreement. It is specifically noted that Grantee is under no duty to provide access to documentation not related to this Agreement or that is otherwise protected by local, state, or federal law.

Any audit required under this section shall be submitted to the County no later than 180 days following the end of Grantee's fiscal year along with any corrective action plan if applicable. Failure by the Grantee to submit the audit within the required time shall result in the withholding of requested payments. In addition, the County may, at its option, terminate this Agreement. Upon written request from Grantee, and for good cause shown, the County may provide an extension of time to respond to an audit under this section.

8. Disallowance of Funds. If, as a result of review, inspection, or audit, Grantee cannot provide documentation of expenses, or it is determined that previously reimbursed expenses were unallowable, such funds shall be disallowed. Grantee shall refund all disallowed funds to the County, and no further payments shall be made under this Agreement until all disallowed funds are refunded to the County. Disallowed funds shall be refunded to the County within 30 days of Grantee's receipt of written notice from the County regarding the overpayment. If Grantee does not timely refund the disallowed funds, the County may charge interest in the amount of 1 percent per month compounded on the outstanding balance beginning 40 days after the date of notice.

9. No Commitment of County Funds. This Agreement is neither a general obligation of the County nor is it backed by the full faith and credit of the County. Although the County will make all reasonable efforts to provide grant funds, the County makes no express commitment to provide such funds in any given County fiscal year. Pursuant to the requirements of Section 129.07, Florida Statutes, payment of each grant payment is subject to specific annual appropriations by the St. Johns County Board of County Commissioners sufficient to pay the grant payments during that County fiscal year. It is expressly acknowledged that Grantee cannot demand that the County appropriate or provide any such funds in any given County fiscal year.

It is expressly acknowledged that if grant funds are not available in one or more County fiscal years, Grantee is not entitled to receive additional payments in a succeeding County fiscal year in order to make up for the shortfall or unavailability of grant funds unless such payments are specifically authorized by resolution of the Board of County Commissioners.

10. Notices. All official notices to the County shall be delivered either by hand (receipt of delivery required) or by certified mail to:

Joseph Cone
Assistant Health and Human Services Director
Health & Human Services Department St. Johns County
200 San Sebastian View
St. Augustine, FL 32084

With copy to: St. Johns County
Office of the County Attorney
500 San Sebastian View
St. Augustine, FL 32084

All official notices to Grantee shall be delivered either by hand (receipt of delivery required) or by certified mail to:

Lisa Franklin, Executive Director
Alpha-Omega Miracle Home, Inc.
2860 Collins Avenue
St. Augustine, FL 32084

An official notice is any notice, request, or other communication required pursuant to sections 2, 4, 6, 7, 21, and 22 of this Agreement. All other correspondence not classified as official notices may

be delivered by any means acceptable to both parties, including faxing or emailing. It is expressly acknowledged by both parties that text messaging is not an acceptable means of correspondence under this Agreement.

11. Relationship of the County and Grantee. This Agreement shall not be deemed to create any agency relationship, partnership, association, or joint venture between the County and the Grantee.

12. Use of County Logo. Pursuant to St. Johns County Ordinance 1992-2 and St. Johns County Administrative Policy 101.3, Grantee may not manufacture, display, or otherwise use the St. Johns County Seal/Logo or any facsimile or reproduction thereof without the express written approval of the Board of County Commissioners.

13. Authority to Practice. Grantee warrants that it has, and will continue to maintain all licenses and approvals required to conduct its business and the scope of services provided in this Agreement. Grantee further warrants that it will at all times conduct its business activities in a reputable manner.

14. Compliance with Applicable Laws and Regulations. Both the Grantee and the County shall comply with all applicable local, state, and federal laws and regulations in their performance under this Agreement. Failure to abide by all applicable local, state, and federal laws and regulations may result in the disallowance of grant funds by the County as provided above in Section 7 of this Agreement.

15. Non-Discrimination. Grantee shall comply with the following Equal Opportunity Statement:

“No person shall, on the grounds of race, creed, color, handicap, national origin, sex, age, political affiliation, or beliefs be excluded from participation in, be denied the benefits of, or be subjected to discrimination under any program or activity funded in whole, or in part, with funds made available by St. Johns County.”

16. No Conflict of Interest. Grantee represents and warrants to the County that it has not employed or retained any elected official, officer, or employee of the County in order to secure this Agreement. Moreover, Grantee represents and warrants to the County that it has not paid, offered to pay, or agreed to pay any fee, commission, percentage, brokerage, or gift of any kind contingent upon or in connection with securing and executing this Agreement.

17. Non-lobbying. Grantee agrees that funds received from the County under this Agreement shall not be used to lobby any organization, entity, person, or governmental unit in a manner inconsistent with the scope of this Agreement.

18. Access to Records. The access to, disclosure, non-disclosure, or exemption of records,

data, documents, or materials associated with this Agreement shall be subject to the applicable provisions of the Florida's Public Records Law (Chapter 119, Florida Statutes), and other applicable State or Federal law. Access to such public records may not be blocked, thwarted, or hindered by placing the public records in the possession of a third party.

19. **Effect of Failure to Insist on Strict Compliance.** The failure of either party to insist on strict compliance with any provision of this Agreement shall not be construed as a waiver of such provision on any subsequent occasion.

20. **Indemnification.** Grantee shall indemnify, defend, and hold the County and its employees and agents in both their individual and official capacity harmless from any liabilities, claims, damages, and expenses, including attorney's fees and litigation costs, arising directly or indirectly out of any negligent, reckless, or intentional act or omission of Grantee's officers, employees, or agents in connection with this Agreement.

21. **Insurance.** Grantee shall not commence work under this Agreement until it has obtained all required insurance as set forth in Exhibit B, the content of which are incorporated into this Agreement, and such insurance has been approved by the County. Grantee shall furnish certificates of insurance to the County naming the County as an additional insured. Each certificate shall clearly indicate that the Grantee has obtained insurance of the type, amount, and classification as required by this Agreement and that no material change or cancellation of the insurance shall be effective without 30 days' prior written notice to the County. A copy of the endorsement shall accompany the certificate. Grantee shall not be required to name the County as an additional insured for workers' compensation or professional liability insurance. Compliance with the foregoing requirements shall not relieve Grantee of any liability or obligation under this Agreement.

Certificate Holder Address: St. Johns County, a political subdivision of the state of Florida
500 San Sebastian View
St. Augustine, FL 32084

22. **Force Majeure.** Neither party shall be held to be in non-compliance with this Agreement, or suffer any enforcement or penalty relating to this Agreement, where such non-compliance occurs as the result of a force majeure event. For the purposes of this section, a force majeure event is defined as an event beyond the control and without the fault or negligence of the affected party which could not have been prevented through the exercise of reasonable diligence, including natural disaster (including hurricane, flood, or other acts of nature), strike, riot, war, terrorism or threat of terrorism, or other event that is reasonably beyond either party's ability to anticipate or control. When there is an event of force majeure, the affected party shall immediately notify the other party in writing giving the full particulars of the event of force majeure. The affected party must use reasonable efforts to mitigate the effect of the event of force majeure upon its performance under this Agreement. Upon completion of the event of force majeure, the affected party shall resume its performance under this Agreement as soon as reasonably

practicable. If, due to an event of force majeure, the Grantee is unable to complete the scope of services within the term of this Agreement, the term of this Agreement may be extended for an amount of time not to exceed the length of the event of force majeure.

23. Default and Termination. In order for the Grantee to remain eligible for funding under this Agreement, Grantee must comply with the provisions set forth in this Agreement, including any incorporated attachments or exhibits. The failure of the County to insist upon strict performance of any provision of this Agreement shall not be construed as a waiver of such provision on any subsequent occasion. Should the County determine that the Grantee has failed to comply with any of the provisions set forth in this Agreement, the County shall notify the Grantee of such non-compliance as provided above in section 9 of this Agreement. The Grantee shall have 14 days from the date of its receipt of a notice of non-compliance to submit a written response to the County that either sufficiently documents the Grantee's compliance with the conditions set forth in the notice or sufficiently sets forth all corrective actions to be taken by the Grantee in order to come into compliance with this Agreement. If the Grantee fails to sufficiently establish its compliance with the provisions of this Agreement, or fails to provide a plan to cure approved by the County within such time, the County may terminate this Agreement, and the parties shall be released from any further obligations under this Agreement.

24. Assignment. In light of the scope and rationale for this Agreement, neither party may assign or transfer any of the rights associated with this Agreement without the express written consent of the other party. Should either party attempt to assign or transfer any of the rights associated with this Agreement without such written consent, this Agreement shall automatically terminate without further notice or action required on the part of the other party.

25. Amendments. Both parties acknowledge that this Agreement constitutes the complete understanding between the parties. Any modification to this Agreement shall be in writing and executed by the duly authorized representatives of each party.

26. Governing Law and Venue. This Agreement shall be construed according to the laws of Florida. Venue for any administrative or legal action arising in connection with this Agreement shall lie exclusively in St. Johns County, Florida.

27. Severability. If any portion of this Agreement, or the application thereof to any person or circumstance, is determined by a court of competent jurisdiction to be void, invalid, or otherwise unenforceable for any reason, such portion or application shall be severable. The remaining portions of this Agreement, and all applications thereof, not having been declared void, invalid, or otherwise unenforceable, shall remain in effect.

28. Merger. This Agreement constitutes the entire Agreement and understanding between the parties as to the matters addressed herein. This Agreement supersedes all prior and contemporaneous agreements, understandings, representations, and warranties, whether oral or written, relating to such

matters.

29. Execution in Counterparts. This Agreement may be executed in counterparts, each of which shall be deemed to be an original, and all of which together shall constitute the same agreement.

IN WITNESS WHEREOF, the authorized representatives of the County and the Grantee have executed this Agreement on the dates provided below.

COUNTY:

Hunter S. Conrad
County Administrator

Date of Execution

GRANTEE:

Signature of Grantee's Representative

Printed Name & Title

Date of Execution

LEGALLY SUFFICIENT:

Assistant County Attorney

Date of Execution

ATTEST:
ST. JOHNS COUNTY CLERK OF COURT

Deputy Clerk

Date of Execution

EXHIBIT A

Scope of Services

Grantee: Alpha-Omega Miracle Home, Inc.
Project: Collins Avenue Campus-Installation of Sewer Line

Alpha-Omega Miracle Home, Inc. (Alpha-Omega) will install the sewer line associated with a twenty-five thousand square foot, sixty to one-hundred bed housing campus.

Funding:

- St. Johns County Affordable Housing will provide \$161,291
- Alpha-Omega Miracle Home must provide all other funds needed for the completion of this project.

Funding will be provided until full expenditure of allocated funds.

Installation of Infrastructure

Alpha-Omega Miracle Home will utilize funding to pay for the installation of sewage pipes from the nearest existing connecting point, determined by the City of St. Augustine, to the entrance of their campus located 2860 Collins Avenue. Matthews Design Group Inc. has designed the project, as provided in Exhibit C.

Alpha-Omega Miracle Home will manage all project related work to include bidding, contracting with a licensed contractor, construction management, and direct payment of all costs associated with the installation of the infrastructure.

All infrastructure work shall be completed by December 30, 2022.

Alpha-Omega Miracle Home will maintain the property for affordable housing purposes for 20 years following completion of the infrastructure work associated with this grant. Alpha-Omega will be and is solely responsible for all occupancy costs and on-going maintenance of the property after completion of the infrastructure.

Eligibility:

The adults enrolled in this program must meet the requirements of being homeless (76 FR 75994) and/or up to Moderate Income (under 120% MFI). All clients must be income certified based on the CDBG Regulation 24 CFR Part 570.208(a) and income certification guidelines as established by HUD. Alpha-Omega will document that clientele are homeless or Low to Moderate Income persons. Alpha-Omega shall also document if clientele are special populations, as determined by their grant application; this includes households that contain single-parents, homeless, elderly, disabled, handicapped, and/or developmentally disabled individuals who may be served by the project.

Requests for Reimbursement

Requests for Reimbursement shall contain only items within the approved grant application to be eligible for reimbursement. Requests for Reimbursement shall be done on a monthly basis using a Reimbursement Request form to be provided by St. Johns County and should include the following documentation:

- Copies of invoices from contractors and sub-contractors and proof of payment for the contractor's bill. An AIA is preferred.
- Any additional back-up documentation as requested.

St. Johns County staff will verify and certify all payment requests before submission to County Finance for payment. Any questions or discrepancies will be resolved with Alpha-Omega before being certified.

Funding Requirements:

The County will monitor all stages of the project to ensure compliance with County guidelines.

Performance Measures:

Alpha-Omega shall maintain the affordable housing campus at 2680 Collins Avenue for the stated purposes for a minimum of ten years after completion of the installation of the sewer lines. Alpha-Omega will be responsible for reporting to St. Johns County on required performance measures to show how the Collins Avenue Campus project has positively affected homelessness/affordable housing in St. Johns County.

Alpha-Omega will provide annual reports in a format determined by the County to report the number of people served (both adults and children).

Failure to maintain the campus for affordable housing purposes or to submit the annual report may result in the disallowance of grant funds as provided in Paragraph 7 of the Grant Agreement.

EXHIBIT C

CONSTRUCTION PLANS FOR ALPHA-OMEGA HOUSE ST. JOHNS COUNTY

CHRISTOPHER L. BUTTERNOR, STATE OF FLORIDA, PROFESSIONAL ENGINEER, LICENSE NO. 78411.
THIS ITEM HAS BEEN ELECTRONICALLY SIGNED AND SEALED BY CHRISTOPHER L. BUTTERNOR, P.E. ON THE DATE INDICATED HERE. PRINTED COPIES OF THIS DOCUMENT ARE NOT CONSIDERED SIGNED AND SEALED AND THE SIGNATURE MUST BE VERIFIED ON ANY ELECTRONIC COPIES.

GENERAL NOTES:

A. TOPOGRAPHIC BOUNDARY SURVEY, INCLUDING PROPERTY LINES, LEGAL DESCRIPTION EXISTING UTILITIES, SITE TOPOGRAPHY WITH SPOT ELEVATIONS, OUTSTANDING PHYSICAL FEATURES AND EXISTING STRUCTURE LOCATIONS WAS PROVIDED BY THE FOLLOWING COMPANY, AS CONTRACTORS TO THE OWNER:

ANCIENT CITY SURVEYORS
4225 U.S. HIGHWAY NO. 1 SOUTH, SUITE 401
ST. AUGUSTINE, FL 32086
CONTACT: MICHAEL A. PISCOPLIS
PHONE: (904) 727-6867

MATTHEWS DESIGN GROUP, INC AND ITS ASSOCIATES WILL NOT BE HELD RESPONSIBLE FOR THE ACCURACY OF THE SURVEY OR FOR DESIGN ERRORS OR OMISSIONS RESULTING FROM SURVEY INACCURACIES.

A. ADDITIONAL PROJECT INFORMATION HAS BEEN PROVIDED BY THE FOLLOWING SUB-CONSULTANT AS CONTRACTOR TO THE OWNER:

LEGACY ENGINEERING, INC CARTER ENVIRONMENTAL SERVICES
6267 CEDARWOOD ENVIRONMENTAL CONSULTANT
624 BEACH BOULEVARD 7 WALDO STREET
JACKSONVILLE, FL 32216 ST. AUGUSTINE, FL 32084
CONTACT: JEFF JACKSON CONTACT: RYAN CARTER
PHONE: (904) 724-1100 PHONE: (904) 540-1188

THE GENERAL CONTRACTOR SHALL NOTIFY THE OWNER/ENGINEER OF ANY DISCREPANCIES BETWEEN THE SURVEY AND FIELD VERIFICATION OF INFORMATION ABOVE OR BELOW GROUND THAT MAY BE CRITICAL TO THE DESIGN OF THIS PROJECT. THE GENERAL CONTRACTOR WILL BE HELD SOLELY RESPONSIBLE FOR AND SHALL TAKE ALL PRECAUTIONS NECESSARY TO AVOID PROPERTY DAMAGE TO ADJACENT PROPERTIES DURING THE CONSTRUCTION OF THIS PROJECT.

C. WARRANTY/RELEASEMENT

THE DESIGN REPRESENTED IN THESE PLANS ARE IN ACCORDANCE WITH ESTABLISHED PRACTICES OF CIVIL ENGINEERING FOR THE DESIGN FUNCTIONS AND USES INTENDED BY THE OWNER AT THIS TIME. HOWEVER, NEITHER THE ENGINEER NOR ITS PERSONNEL CAN OR DO WARRANT THESE DESIGNS OR PLANS AS CONSTRUCTED EXCEPT IN THE SPECIFIC CASES WHERE THE ENGINEER IS INVOLVED WITH THE PHYSICAL CONSTRUCTION ON AN ON-GOING BASIS AT THE SITE.

D. SAFETY NOTICE TO CONTRACTOR

IN ACCORDANCE WITH GENERALLY ACCEPTED CONSTRUCTION PRACTICES, THE CONTRACTOR SHALL BE SOLELY AND COMPLETELY RESPONSIBLE FOR CONDITIONS OF THE JOB SITE INCLUDING SAFETY OF ALL PERSONS AND PROPERTY DURING PERFORMANCE OF WORK. THIS REQUIREMENT WILL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS. ANY CONSTRUCTION OBSERVATION BY THE ENGINEER OF THE CONTRACTOR'S PERFORMANCE IS NOT INTENDED TO INCLUDE REVIEW OF THE ADEQUACY OF THE CONTRACTOR'S SAFETY MEASURES IN OR NEAR THE CONSTRUCTION SITE.

E. CONSTRUCTION TESTING

CONTRACTOR SHALL BE RESPONSIBLE FOR ALL COORDINATIONAL TESTING, LABORATORY ANALYSES, REPORTS, COSTS, ETC., CONCERNING SOILS AND PAVEMENT RELATED DESIGN REQUIREMENTS AND SPECIFICATIONS AS SET FORTH IN THESE PLANS.

F. AS-BUILT SURVEY NOTE

UPON COMPLETION OF CONSTRUCTION, CONTRACTOR IS REQUIRED TO PROVIDE OWNER / ENGINEER WITH A SIGNED AND SEALED AS-BUILT SURVEY AND ANY OTHER RELATED CONSTRUCTION DOCUMENTS, IN ACCORDANCE WITH APPLICABLE PERMITTING AGENCY REQUIREMENTS, AS THE BASIS FOR PROJECT CERTIFICATIONS AND CLOSE-OUT.

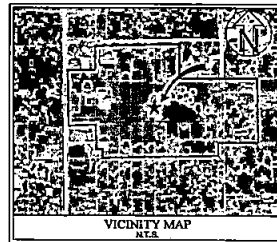
G. RIGHT-OF-WAY

ANY AND ALL WORK CONDUCTED WITHIN THE ST. JOHNS COUNTY RIGHT-OF-WAYS MUST BE IN ACCORDANCE WITH THE APPLICABLE LAND DEVELOPMENT CODES.

H. PRE-CONSTRUCTION MEETING

IT IS THE RESPONSIBILITY OF THE APPLICANT TO SCHEDULE A PRE-CONSTRUCTION / PRE PERMIT ISSUANCE MEETING WITH SJC STAFF AFTER PLANS HAVE BEEN RELEASED FOR CONSTRUCTION BY THE COUNTY AND PRIOR TO STARTING ANY SITE ACTIVITIES. THE PRE-CONSTRUCTION MEETING WILL BE HELD IN CONJUNCTION WITH THE SJC HANDOVER PRE-CONSTRUCTION MEETING. HOWEVER, IF THE PROJECT FALLS OUTSIDE OF SJC JURISDICTION, PLEASE CALL SJC TO SCHEDULE MEETING.

I. ALL ELEVATIONS SHOWN HEREIN ARE REFERENCED TO NORTH AMERICAN GEODETIC VERTICAL DATUM 1988 (NAVD 88).



OWNER:
ALPHA-OMEGA MIRACLE HOME, INC.
1707 OLD MOULTRE ROAD, SUITE 107
ST. AUGUSTINE, FL 32084
PHONE: (904) 823-8585
CONTACT: USA FRANKLIN

PREPARED BY:

MATTHEWS DESIGN GROUP, INC.
P.O. BOX 3126, 7 WALDO STREET
ST. AUGUSTINE, FLORIDA 32084
PHONE: (904) 626-1334



Sheet Number	Sheet Title
1	COVER SHEET
2	GENERAL NOTES
3	COSA GENERAL NOTES
4	COSA DIRECTIONAL DRILLING NOTES
5	SURVEY
6-8	OFF-SITE SURVEY
9	ONSITE DEMOLITION PLAN
10	SITE PLAN
11-12	GRADING PLAN
13-14	UTILITY PLAN
15	OVERALL OFF-SITE UTILITY PLAN
16-21	OFF-SITE UTILITY PLAN AND PROFILES
22	LANDSCAPING PLAN
23	LANDSCAPING DETAILS
24-25	CONSTRUCTION DETAILS
26-29	COSA UTILITY DETAILS
30-35	COSA LIFT STATION DETAILS
36-39	MAINTENANCE OF TRAFFIC PLAN
40	COSA SWMP
41	SWMP CONTRACTORS CERTIFICATION

RESOURCE LIST

CITY OF ST. AUGUSTINE	ST. JOHNS RIVER WATER MANAGEMENT DISTRICT	ST. JOHNS COUNTY DEVELOPMENT SERVICES	FDEP - WATER & SEWER
P.O. DRAWER 21 CITY OF ST. AUGUSTINE ST. AUGUSTINE, FLORIDA 32085	777 BAYMEADOWS WAY, SUITE 102 JACKSONVILLE, FLORIDA 32258	4040 LEWIS SPEEDWAY ST. AUGUSTINE, FLORIDA 32084	7825 BAYMEADOWS WAY SUITE 8-200 JACKSONVILLE, FLORIDA 32258
(904) 209-4275	(904) 424-2410	(904) 209-0960	(904) 255-1820

FLOOD CERTIFICATION:

THIS SITE IS SHOWN IN FLOOD ZONE "X" AS DESIGNATED BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY, FLOOD INSURANCE RATE MAP, COMMUNITY PANEL NUMBER 12100C011A, FOR ST. JOHNS COUNTY, FLORIDA, EFFECTIVE DECEMBER 7, 2016.



Know what's below.
Call before you dig.

COVER SHEET
ALPHA-OMEGA HOUSE
ST. JOHNS COUNTY
ALPHA-OMEGA MIRACLE HOME, INC.

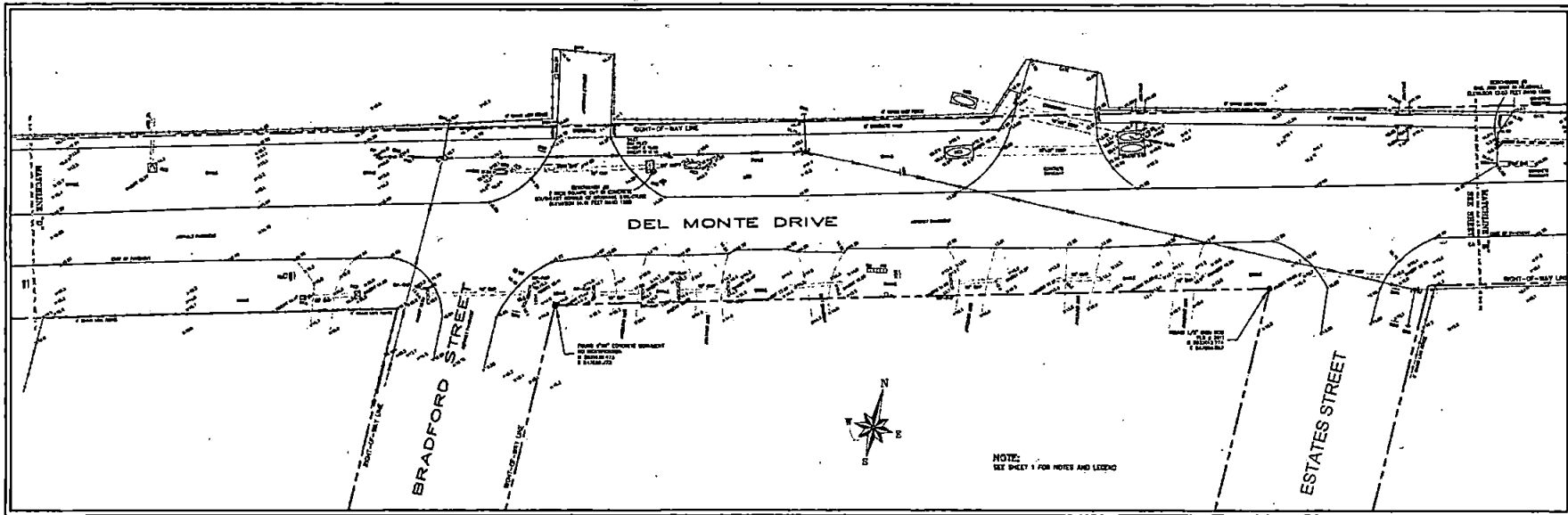
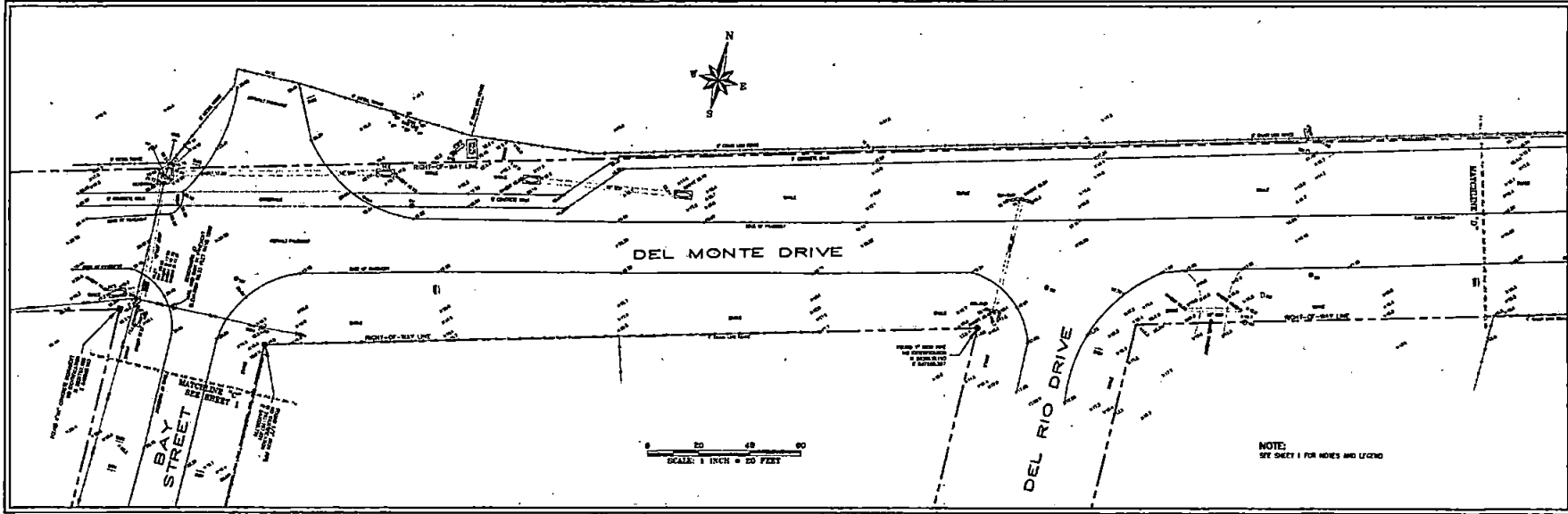
MATTHEWS DESIGN GROUP, INC.
P.O. BOX 3126, 7 WALDO STREET
ST. AUGUSTINE, FLORIDA 32084
PHONE: (904) 626-1334
FAX: (904) 626-1334
INFO@MATTHEWSDESIGNGROUP.NET

REVISIONS

NO.	DATE	DESCRIPTION
1	05/20/18	ISSUED PER SJC AND WAD COMMENTS
2	05/20/18	ISSUED PER SJC AND WAD COMMENTS
3	06/07/18	REVISED PER SJC, COSA AND WAD COMMENTS
4	07/07/18	REVISED PER SJC, COSA AND WAD COMMENTS
5	07/10/18	REVISED PER SJC, COSA COMMENTS

DATE: 01/10/19
TIME: 11:02

1
OF 42



REVISION

ROUTE SURVEY

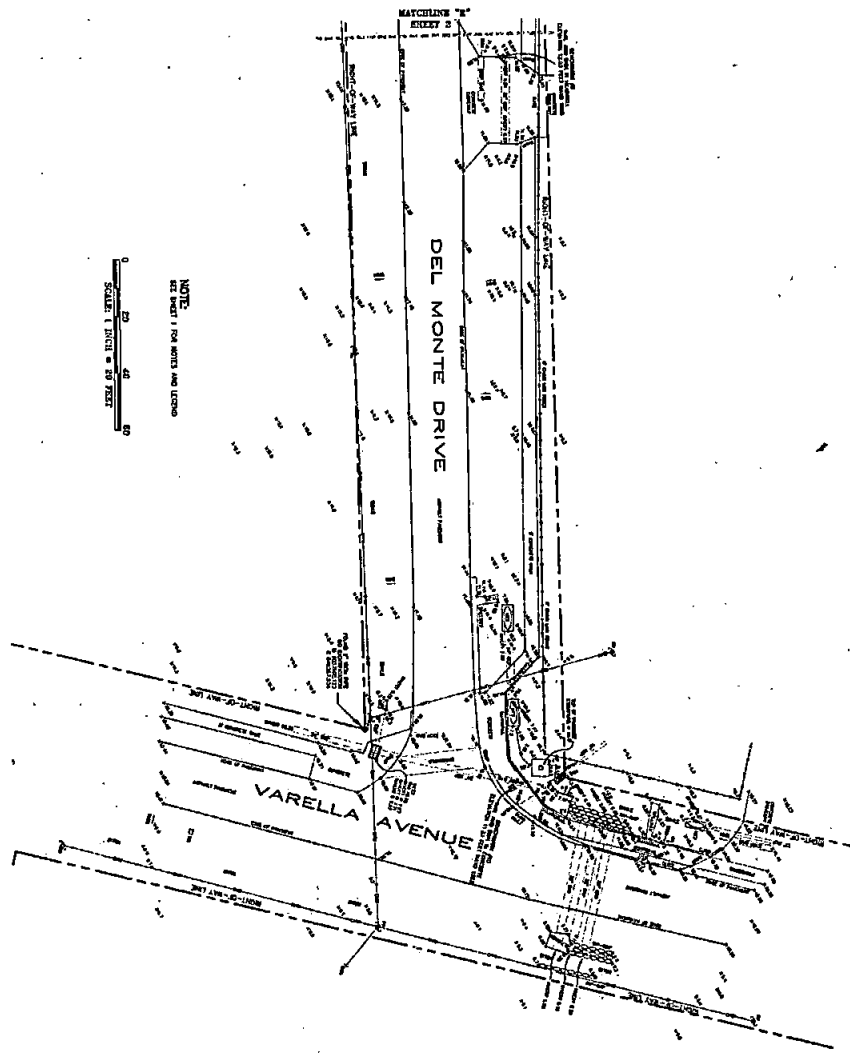
ALPHA QUACA BRADLEY LONG, INC.
ST. AUGUSTINE, FLORIDA

ANCIENT CITY SURVEYORS
1877-1878

ACS
PROFESSIONAL
LAND SURVEYORS

4425 U.S. HIGHWAY 90, 1. MILE WEST OF 401
ST. AUGUSTINE, FLORIDA 32084
PHONE: 904-771-4377 FAX: 904-771-4377

[Handwritten signature]



NOTE:
 NO POINTS FOR AREA AND LEGEND

SCALE: 1 INCH = 50 FEET



NOTE:
 ALL PLATS AND CORRECTIONS TO BE MADE IN ACCORDANCE WITH THE PROVISIONS OF THE FLORIDA STATUTES AND THE RULES OF THE BOARD OF PROFESSIONAL LAND SURVEYORS. THE FLORIDA DEPARTMENT OF TRANSPORTATION FURNISHES REVISIONS PERMITTED.

LEGEND

- 1. BOUNDARY
- 2. EASEMENT
- 3. EASEMENT
- 4. EASEMENT
- 5. EASEMENT
- 6. EASEMENT
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- 49. EASEMENT
- 50. EASEMENT

8

ANCIENT CITY SURVEYORS
 1871 1/2
ACS PROFESSIONAL LAND SURVEYORS
 4418 U.S. HIGHWAY No. 1 SOUTH, SUITE 401
 ST. AUGUSTINE, FLORIDA 32086
 PHONE: 904-797-0807 FAX: 904-797-0027

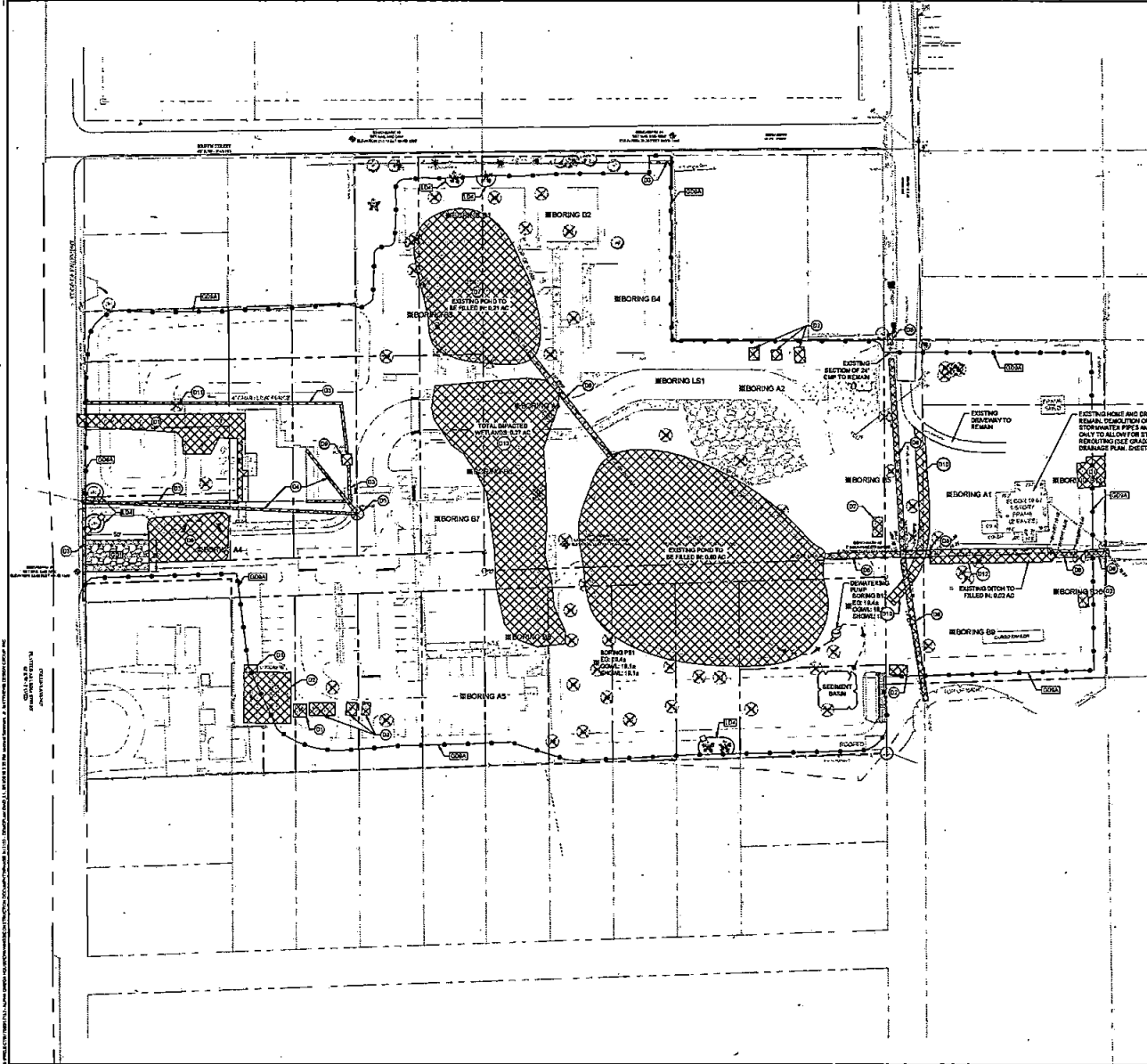
ROUTE SURVEY

ALPHA OMEGA MIRACLE HOME, INC.
 2880 COLLINS AVE.
 ST. AUGUSTINE, FLORIDA

TYPE OF SURVEY - BOUNDARY
 DATE OF SURVEY - 07/05/2018
 FIELD BOOK #/PAGE# - 451/75-79
 DRAWING SCALE - 1" = 50'
 JOB NUMBER - 17-200-2018

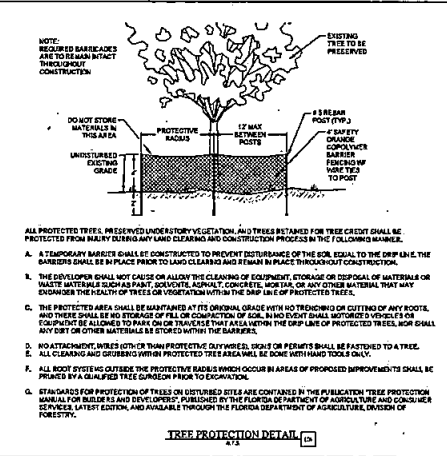
REVISIONS TO THIS PLAN
 SHEET 3 OF 3

SCALE



- EROSION CONTROL DETAILS**
- 001 ESTABLISHED CONSTRUCTION ENTRANCE
 - 002A TYPE B ERT PLACE
 - 004 TREE PROTECTION
- DEMOLITION NOTES**
- D1 REMOVE EXISTING CONCRETE.
 - D2 EXISTING HOME TO BE DEMOLISHED
 - D3 REMOVE EXISTING FENCE.
 - D4 REMOVE EXISTING OVERHEAD CABLE.
 - D5 REMOVE EXISTING UTILITY POLE.
 - D6 REMOVE EXISTING STORM DRAIN PIPE.
 - D7 FILL EXISTING POND, REMOVE UNDESIRABLES AND STABILIZE SOIL.
 - D8 EXISTING SYSTEM TO BE PROPERLY ABANDONED BY LICENSED CONTRACTOR PER DEPARTMENT OF HEALTH AND S&C REQUIREMENTS.
 - D9 REMOVE EXISTING PUMP HOUSE AND PROPERLY ABANDON AND CAP WELLS PER DEPT. OF HEALTH AND S&C REQUIREMENTS.
 - D10 REMOVE EXISTING GRAVEL & DIRT ROAD
 - D11 CONTRACTOR TO USE APPROVED BEST MANAGEMENT PRACTICES WITH BEST MANAGEMENT PRACTICES AS NOTED IN THE FLORIDA STORMWATER PRACTICES AND GUIDELINES FOR CONTROL, INSPECTION, MAINTENANCE AND CONSISTENT WITH ST. JOHNS COUNTY LDC CODE 6.24.01 A.I.C.
 - D12 EXISTING POND TO BE FILLED IN AND STORM SEWER PIPE TO BE REMOVED.
 - D13 EXISTING WETLANDS TO BE IMPACTED.

NOTE: ANY DAMAGED OR REMOVED SIGN DUE TO CONSTRUCTION WITHIN COUNTY HIGH SHALL BE REPLACED OR REINSTALLED PER COUNTY POST SIGN STANDARDS (CODE NO. 720-16, 720-101 AND 711-01).



MATTHEWS DESIGN GROUP, INC.
P.O. BOX 3126, 7 WALDO STREET
ST. AUGUSTINE, FLORIDA 32084
PHONE: 904.824.1244
FAX: 904.824.1244
E-MAIL: INFO@MATTHEWSDESIGN.NET

ON-SITE DEMOLITION PLAN
ALPHA-OMEGA HOUSE
ST. JOHNS COUNTY
ALPHA-OMEGA AIRCRAFT HOME, INC.

DATE: 07-11-2019
DRAWN BY: [REDACTED]
CHECKED BY: [REDACTED]
SCALE: 1"=20'

9 OF 42

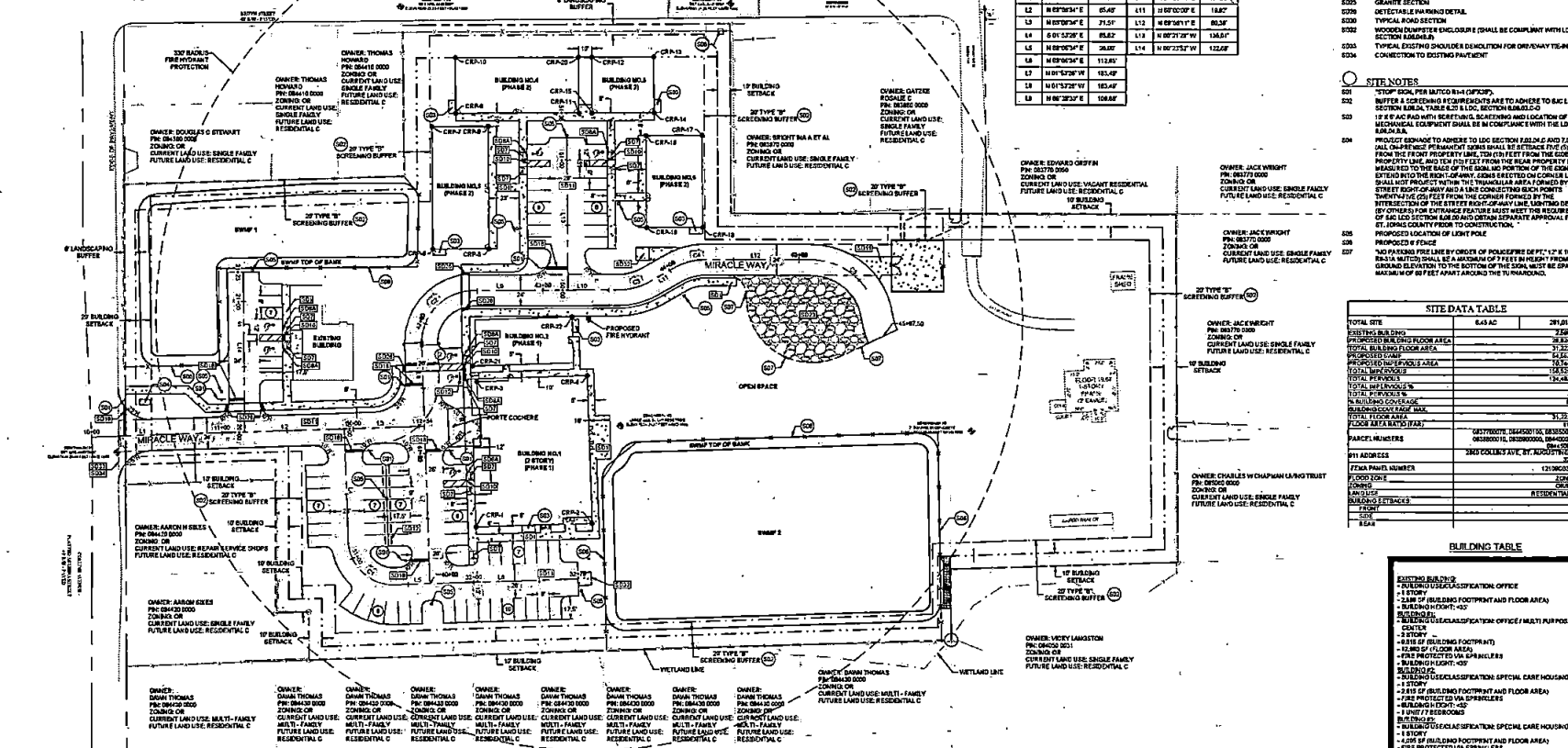
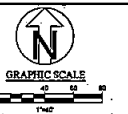
CONSTRUCTION REFERENCE POINT TABLE		
POINT #	NORTHING	EASTING
CRP-1	2306.4134	646.4231
CRP-2	2306.4354	647.1143
CRP-3	2309.3438	646.8514
CRP-4	2309.3487	647.1880
CRP-5	2309.3682	646.8437
CRP-6	2309.3679	646.9797
CRP-7	2309.3788	646.8210
CRP-8	2309.3788	646.8210
CRP-9	2309.3788	646.8210
CRP-10	2309.3788	646.8210

CONSTRUCTION REFERENCE POINT TABLE		
POINT #	NORTHING	EASTING
CRP-11	2309.3782	646.7184
CRP-12	2309.3738	646.7187
CRP-13	2309.3735	646.7878
CRP-14	2309.3788	646.7888
CRP-15	2309.3788	646.7798
CRP-16	2309.3788	646.7828
CRP-17	2309.3732	646.8054
CRP-18	2309.3823	646.8054
CRP-19	2309.3823	646.7827
CRP-20	2309.3788	646.7817

CONSTRUCTION REFERENCE POINT TABLE		
POINT #	NORTHING	EASTING
CRP-21	2309.5535	646.8277
CRP-22	2309.5370	646.7813

CURVE TABLE					
CURVE #	RADIUS	LENGTH	TANGENT	CHORD	DELTA
C1	35.00	64.88	35.00	48.30	80.90°
C2	40.00	80.97	41.00	61.37	81.10°
C3	60.00	120.37	61.00	91.30	81.10°
C4	30.00	30.17	15.25	20.98	78.58°
C5	60.00	60.37	30.50	41.97	79.42°

CENTERLINE DATA					
LINE #	BEARING	DISTANCE	LINE #	BEARING	DISTANCE
L1	N 89°58'14" E	117.42	L11	N 89°58'14" E	109.48
L2	N 89°58'14" E	65.42	L12	N 89°58'14" E	168.27
L3	N 89°58'14" E	71.57	L13	N 89°58'14" E	80.34
L4	S 01°52'28" E	18.82	L14	N 89°57'28" W	138.17
L5	N 89°58'14" E	38.82	L15	N 89°57'28" W	122.88
L6	N 89°58'14" E	112.81			
L7	N 89°57'28" W	153.49			
L8	N 89°57'28" W	163.49			
L9	N 89°57'28" W	168.49			



- SITE DETAILS**
- SD1 CONCRETE SIDEWALK DETAIL
 - SD2 WHEELCHUR Ramp SIDEWALK
 - SD3 ACCESSIBLE PARKING SIGN
 - SD4 TYPICAL PAVEMENT SECTION
 - SD5 CONCRETE SIDEWALK DETAIL
 - SD6 2" TOP SOIL PER FOOT ROOF SLOPE
 - SD7 GRAVITY DETENTION
 - SD8 DETENTION BASIN DETAIL
 - SD9 TYPICAL ROAD SECTION
 - SD10 WOODEN SHEDDING ENCLOSURE SHALL BE COMPLIANT WITH LDC SECTION 606.4.1.1
 - SD11 TYPICAL EXISTING ROAD SECTION FOR DRAINAGE TRENCH
 - SD12 CONNECTION TO EXISTING PAVEMENT
- SITE NOTES**
- SN1 "TOP" SOIL PER LDC 606.4.1.1 (2")
 - SN2 BUFFER & SETBACK REQUIREMENTS ARE TO ADHERE TO LDC. SECTION 606.4.1.1.2 & LDC SECTION 606.4.1.2.1
 - SN3 IF A SETBACK WITH RELEVANT BEARING AND LOCATION OF THE MECHANICAL EQUIPMENT SHALL BE IN COMPLIANCE WITH THE LDC, SEC 606.4.1.1.1
 - SN4 PROJECT SIGNAGE TO ADHERE TO LDC SECTION 606.4.1.2 AND 7.0.2.5. ALL COMPLIANT SIGNAGE SHALL BE SETBACK FIVE (5) FEET FROM THE FRONT PROPERTY LINE, TEN (10) FEET FROM THE SIDE PROPERTY LINE AND TEN (10) FEET FROM THE REAR PROPERTY LINE. AS REACHED TO THE EDGE OF THE EQUAL PORTION OF THE SIGN MAY EXTEND TO THE REAR PROPERTY LINE. SIGN SETBACK FROM CORNER SHALL NOT PROJECT WITHIN THE TRIANGULAR AREA FORMED BY THE STREET FRONTAGE AND THE CORNER. ALL SIGNAGE SHALL BE SETBACK FIVE (5) FEET FROM THE CORNER FORMED BY THE INTERSECTION OF THE STREET FRONTAGE AND THE CORNER. SIGNAGE FOR ENTRANCE FEATURES MUST MEET THE REQUIREMENTS OF LDC SECTION 606.4.1.2.1. SIGNAGE SHALL OBTAIN SEPARATE APPROVAL FROM ST. JOHNS COUNTY FROM CONSTRUCTION.
 - SN5 PROPOSED LOCATION OF LIGHT POLE
 - SN6 PROPOSED 6" FENCE
 - SN7 ALL FENCES MUST BE BY ORDER OF PROGRESSIVE DEVELOPMENT (PD) PER LDC 606.4.1.1.1. ALL FENCES SHALL BE A MAXIMUM OF FEET IN HEIGHT FROM THE GROUND SURFACE TO THE BOTTOM OF THE SIGN. THERE SHALL BE SPACED A MAXIMUM OF 8 FEET APART AROUND THE TRIANGULAR AREA.

SITE DATA TABLE		
TOTAL SITE	SQ. FT.	291,848
EXISTING BUILDING	7,568 SF	
PROPOSED BUILDING FLOOR AREA	28,848 SF	
TOTAL BUILDING FLOOR AREA	36,416 SF	
PROPOSED DRIVEWAY	5,625 SF	
TOTAL DRIVEWAY	14,883 SF	
TOTAL PAVEMENT	19,448 SF	
TOTAL IMPAVED	2,800 SF	
TOTAL PAVED	22,248 SF	
PAVEMENT COVERAGE	7.6%	
TOTAL PAVED AREA	31,392 SF	
TOTAL UNPAVED AREA	260,456 SF	
TOTAL AREA	291,848 SF	

BUILDING TABLE		
BUILDING	CLASSIFICATION	OFFICE
1-STORY	RESIDENTIAL	OFFICE
2-STORY	RESIDENTIAL	OFFICE
3-STORY	RESIDENTIAL	OFFICE
4-STORY	RESIDENTIAL	OFFICE
5-STORY	RESIDENTIAL	OFFICE
6-STORY	RESIDENTIAL	OFFICE
7-STORY	RESIDENTIAL	OFFICE
8-STORY	RESIDENTIAL	OFFICE
9-STORY	RESIDENTIAL	OFFICE
10-STORY	RESIDENTIAL	OFFICE
11-STORY	RESIDENTIAL	OFFICE
12-STORY	RESIDENTIAL	OFFICE
13-STORY	RESIDENTIAL	OFFICE
14-STORY	RESIDENTIAL	OFFICE
15-STORY	RESIDENTIAL	OFFICE
16-STORY	RESIDENTIAL	OFFICE
17-STORY	RESIDENTIAL	OFFICE
18-STORY	RESIDENTIAL	OFFICE
19-STORY	RESIDENTIAL	OFFICE
20-STORY	RESIDENTIAL	OFFICE

OCCUPANCY CLASSIFICATION AND LOADING					
BUILDING	AREA (SF)	NO. OF SEAT.	OCCUPANCY LOAD NO. OF SEAT/OCCUPANT	BUILDING OCCUPANCY LOAD (SEAT)	ASSESSMENT OCCUPANCY LOAD (SEAT)
BUILDING 1	2,800 SF	0	0	0	301
BUILDING 2	2,800 SF	0	0	0	301
BUILDING 3	2,800 SF	0	0	0	301
BUILDING 4	2,800 SF	0	0	0	301
BUILDING 5	2,800 SF	0	0	0	301
BUILDING 6	2,800 SF	0	0	0	301
BUILDING 7	2,800 SF	0	0	0	301
BUILDING 8	2,800 SF	0	0	0	301
BUILDING 9	2,800 SF	0	0	0	301
BUILDING 10	2,800 SF	0	0	0	301
BUILDING 11	2,800 SF	0	0	0	301
BUILDING 12	2,800 SF	0	0	0	301
BUILDING 13	2,800 SF	0	0	0	301
BUILDING 14	2,800 SF	0	0	0	301
BUILDING 15	2,800 SF	0	0	0	301
BUILDING 16	2,800 SF	0	0	0	301
BUILDING 17	2,800 SF	0	0	0	301
BUILDING 18	2,800 SF	0	0	0	301
BUILDING 19	2,800 SF	0	0	0	301
BUILDING 20	2,800 SF	0	0	0	301

PARKING CALCULATIONS		
OFFICE	SPACES PER	SQ. FT.
OFFICE - EXISTING BUILDING	1 SPACE PER	280 SF
OFFICE - PROPOSED BUILDING	1 SPACE PER	280 SF
TOTAL SPACES REQUIRED	2 SPACES PER	560 SF
TOTAL SPACES PROVIDED	2 SPACES PER	560 SF
TOTAL SPACES REQUIRED	2 SPACES PER	560 SF
TOTAL SPACES PROVIDED	2 SPACES PER	560 SF

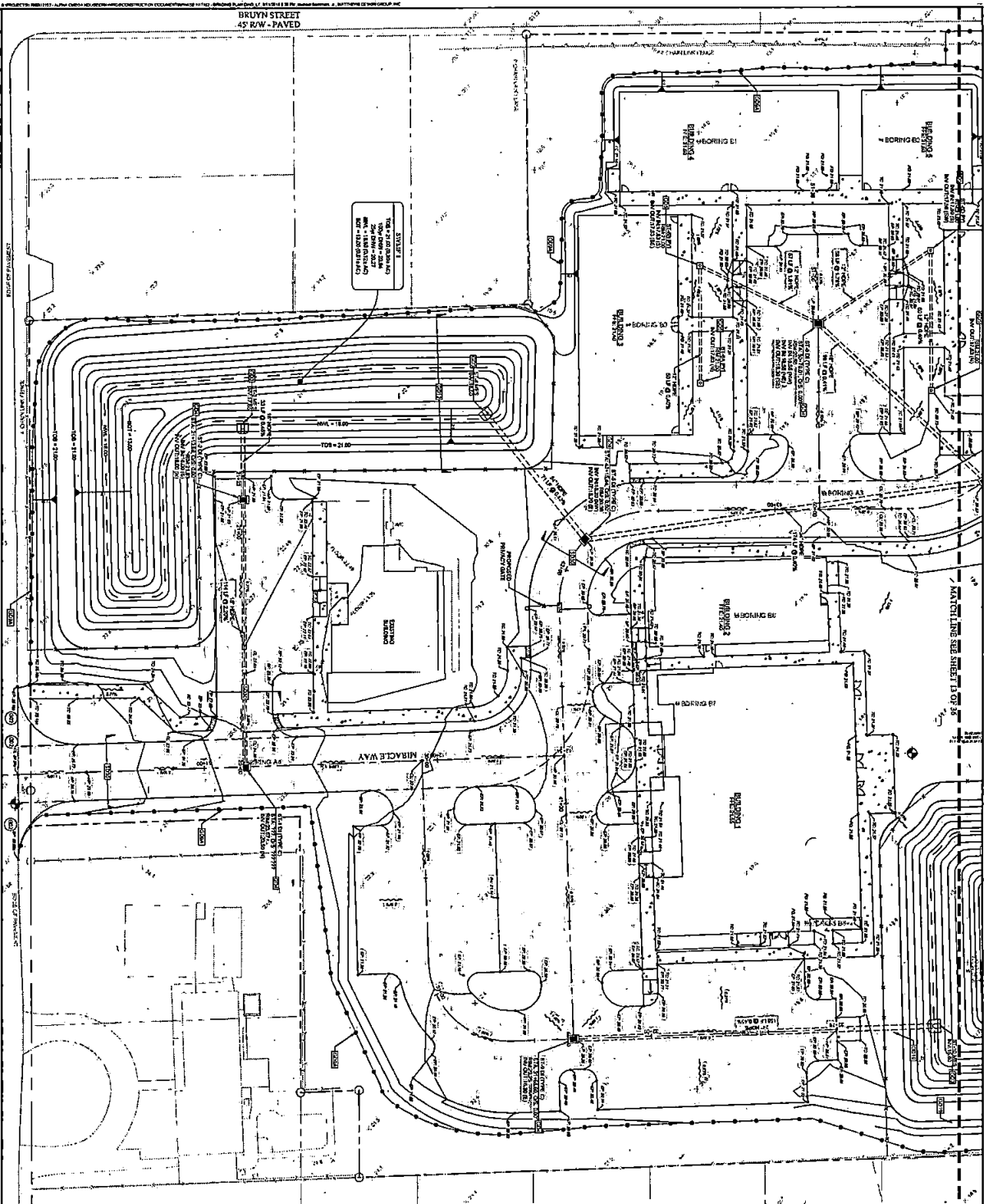
HATCH LEGEND	
CONCRETE SIDEWALK	(Symbol)
ASPHALT PAVEMENT	(Symbol)

BENCHMARKS	
BM1	NAD 83, DISC. 20044633, 64599.20, 35.40
BM2	NAD 83, DISC. 20044633, 64743.37, 64743.37, 37.17
BM3	NAD 83, DISC. 20044633, 64743.37, 37.17
BM4	NAD 83, DISC. 20044633, 64743.37, 37.17
BM5	NAD 83, DISC. 20044633, 64743.37, 37.17

MATTHEWS DESIGN GROUP, INC.
 P.O. BOX 3136, WALDO STREET
 ST. AUGUSTINE, FLORIDA 32084
 PHONE: 904.824.1334
 FAX: 904.824.1335
 INFO@MATTHEWSDESIGN.COM
 WWW.MATTHEWSDESIGN.COM

ALPHA-OMEGA HOUSE
 ST. JOHNS COUNTY
 ALPHACOMMERCIALHOUSE, INC.

10 OF 42



CONCRETE DRIVE - SEE
 CIVIL ENGINEER'S PLAN
 FOR DETAILS

NOT TO SCALE
 ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED
 DIMENSIONS TO FACE UNLESS OTHERWISE NOTED
 DIMENSIONS TO FACE UNLESS OTHERWISE NOTED

- GRADING DETAILS
- 001 EXISTING GRADE
- 002 PROPOSED GRADE
- 003 FINISHED GRADE
- 004 PROPOSED GRADE
- 005 FINISHED GRADE
- 006 FINISHED GRADE
- 007 FINISHED GRADE
- 008 FINISHED GRADE
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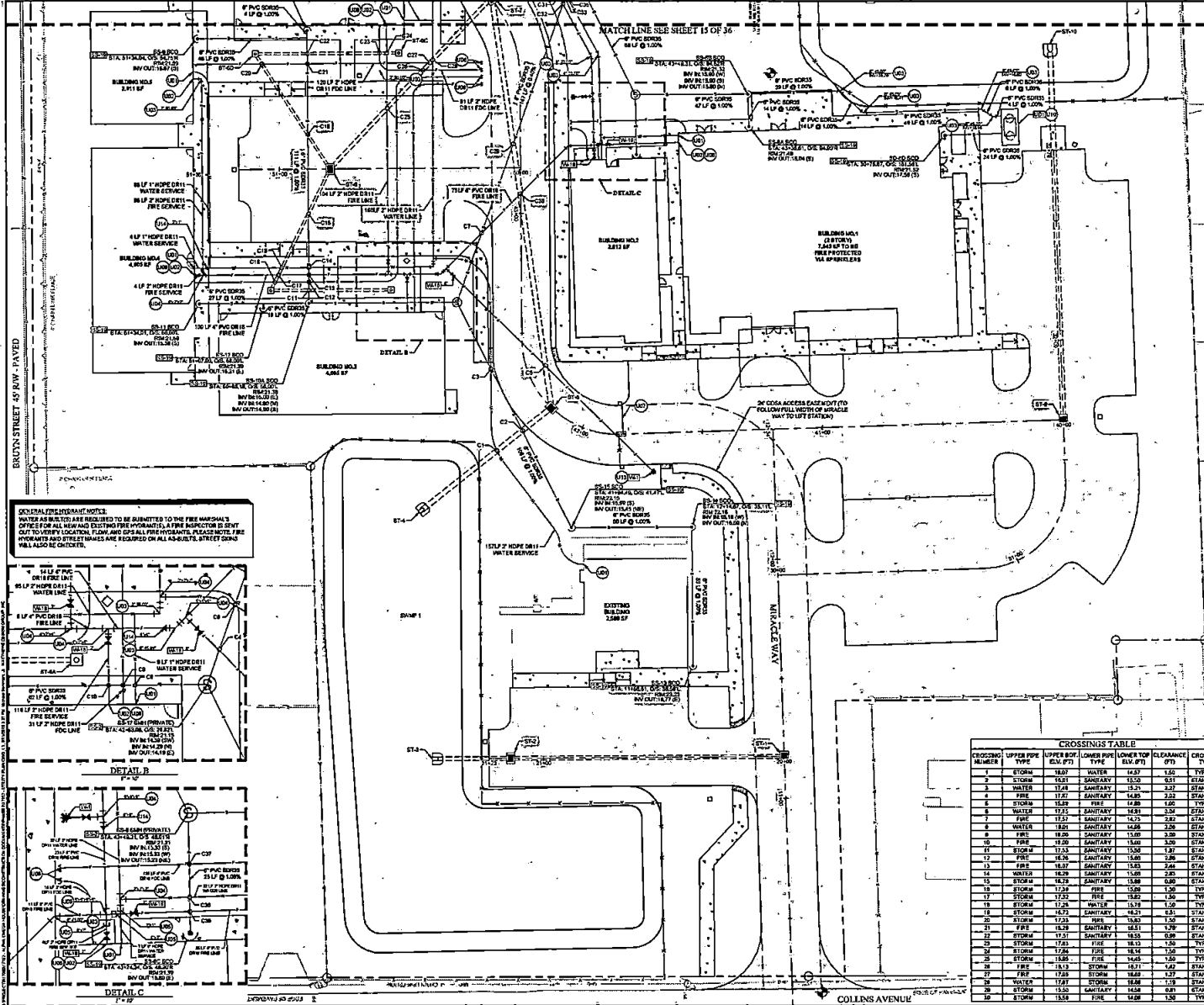
11
 OF 22

GRADING PLAN
ALPHA-OMEGA HOUSE
 ST. JOHNS COUNTY
 PREPARED FOR
 ALPHA-OMEGA MIRACLE HOME, INC.

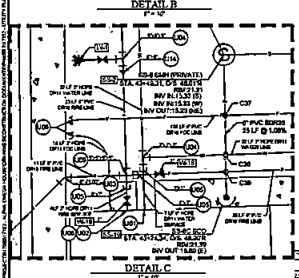
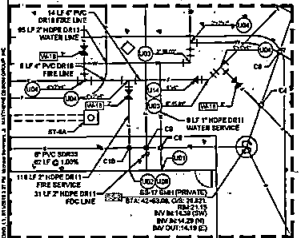
MATTHEWS DESIGN GROUP, INC.
 P.O. BOX 3126, 7 WALDO STREET
 ST. AUGUSTINE, FLORIDA 32084
 PHONE: 904.826.1334
 FAX: 904.826.4347
 INFO@MATTHEWSDESIGN.NET

NO.	DATE	DESCRIPTION
1	07/17/19	REVISED PER SJC COSEA AND WMD COMMENTS
2	03/26/19	REVISED PER SJC COSEA AND WMD COMMENTS
3	04/17/19	REVISED PER SJC COSEA AND WMD COMMENTS
4	07/11/19	REVISED PER COSEA COMMENTS

REGISTERED ENGINEER
 GIBBY L. BUTTERMAN, P.E.
 CAROLINA, FL 07811



GENERAL FIRE HYDRANT NOTES:
 WATER AND WATER SERVICE ARE TO BE SUBMITTED TO THE FIRE MARSHAL'S OFFICE FOR ALL NEW AND EXISTING FIRE HYDRANTS. A FIRE HYDRANT IS TO BE LOCATED TO VERIFY LOCATION, FLOW AND CAP ALL FIRE HYDRANTS. PLEASE NOTE FIRE HYDRANTS AND STREET MARKS ARE REQUIRED ON ALL 40-FOOT STREET CORNERS. THIS SHALL BE CHECKED.



- UTILITY DETAILS**
- U01 GRADE INTERCEPT
 - U02 DUPLEX LIFT STATION WITH FIBERGLASS TANK
 - U03 SANITARY SEWER TYPE "W" MANHOLE
 - U04 QUANTITY SEWER SERVICE CONNECTION
 - U05 AIR RELEASE VALVE DETAIL FOR USE ON FORCE MAINS
 - U06 PRESSURE FIRE HYDRANT INSTALLATION TO BE PAINTED RED WITH WHITE CAPS
 - U07 2" TAP AND WATER METER SET WITH BACKFLOW PREVENTER CONSTRUCTION
 - U08 3" WATER METER SET WITH BACKFLOW PREVENTER CONSTRUCTION
 - U09 VALVE BOX AND COVER (MARKED LOCATION) HIGH CONSTRUCTION
 - U10 FIRE SERVICE DOUBLE CHECK DETECTOR ASSEMBLY 3" CITY DIMED LIFT STATION WITH EMERGENCY BYPASS PUMP
- UTILITY NOTES**
- U01 PROPOSED WATER SERVICE CONNECTION TO BUILDING
 - U02 PROPOSED FIRE SERVICE CONNECTION TO BUILDING
 - U03 ALL SIZES - SEE CALLOUT FOR SIZE AND ANGLE
 - U04 ALL TEE'S - SEE CALLOUT FOR SIZE
 - U05 PROPOSED TAPPED OR CUT - SEE CALLOUT FOR SIZE
 - U06 PRE-EXISTING FIRE DEPARTMENT CONNECTION
 - U07 FOR CITY COMPANIES, A KEY SWITCH IS REQUIRED, IF A PHOENIX IS REQUIRED, A SPECIAL LOCK IS REQUIRED. PLEASE CALL THE FIRE MARSHAL'S OFFICE TO VERIFY THE LOCATION FOR ACCESS TO THIS A KEY SWITCH IS REQUIRED. PLEASE CALL THE FIRE MARSHAL'S OFFICE TO VERIFY THE LOCATION FOR ACCESS TO THIS
 - U08 FIRE SERVICE DOUBLE CHECK DETECTOR ASSEMBLY 3" CITY DIMED LIFT STATION WITH EMERGENCY BYPASS PUMP
 - U09 4" FIBRE GLASS PUMP HEAD
 - U10 PROPOSED 2" WATER SOURCE FOR FIRE PROTECTION
 - U11 PROPOSED HYDRANT TO BE LOCATED WITH CONSTRUCTION OF BUILDING 1
 - U12 PROPOSED HYDRANT - SEE CALLOUT FOR SIZE

FIRE PROTECTION

1. FIRE PROTECTION FOR THE PURPOSE OF THIS PLAN IS AN UNDERGROUND WATER MAIN SYSTEM AND UNDERGROUND PIPING SYSTEM AS WELL AS AN ABOVE GROUND PRIVATE FIRE SERVICE MAIN AND PIPING AND ITS APPURTENANCES ON PRIVATE PROPERTY OF THE CLIENT. THE WATER MAIN SYSTEM SHALL BE 12" IN DIAMETER FOR WATER MAINS TO THE PROTECTION SYSTEMS, 8" BETWEEN A BUILDING OF WATER AND SANITARY MAINS TO THE PROTECTION SYSTEMS, 6" BETWEEN A BUILDING OF WATER AND SANITARY MAINS TO THE PROTECTION SYSTEMS, 4" BETWEEN A BUILDING OF WATER AND SANITARY MAINS TO THE PROTECTION SYSTEMS, 2" BETWEEN A BUILDING OF WATER AND SANITARY MAINS TO THE PROTECTION SYSTEMS, 1" BETWEEN A BUILDING OF WATER AND SANITARY MAINS TO THE PROTECTION SYSTEMS.

2. THIS SHALL ALSO APPLY TO CONCRETE EXISTING MAINS USED TO CARRY WATER FOR FIRE SERVICE AND OTHER USES. SEE SECTION 10.0.

3. STANDARDS TO BE REFERENCED ARE TO BE THE MOST CURRENT AND ADOPTED BY THE LOCAL FIRE DEPARTMENT.

4. ALL INSTALLATIONS OF PRIVATE FIRE SERVICE SHALL BE MADE IN ACCORDANCE WITH THE STANDARDS FOR INSTALLATION OF STATIONARY PUMPS FOR FIRE PROTECTION.

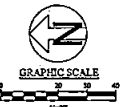
5. ALL STANDARDS FOR WATER MAINS FOR PRIVATE FIRE PROTECTION SHALL BE IN ACCORDANCE WITH THE STANDARDS FOR WATER MAINS FOR PRIVATE FIRE PROTECTION.

6. ALL STANDARDS FOR FIRE SERVICE SHALL BE IN ACCORDANCE WITH THE STANDARDS FOR FIRE SERVICE.

7. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING A PERMIT FROM THE FIRE MARSHAL'S OFFICE PRIOR TO THE START OF ANY CONSTRUCTION OF ANY FIRE SERVICE AND SHALL BE RESPONSIBLE FOR OBTAINING A PERMIT FROM THE FIRE MARSHAL'S OFFICE PRIOR TO THE START OF ANY CONSTRUCTION OF ANY FIRE SERVICE.

8. NOTE: THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING A PERMIT FROM THE FIRE MARSHAL'S OFFICE PRIOR TO THE START OF ANY CONSTRUCTION OF ANY FIRE SERVICE AND SHALL BE RESPONSIBLE FOR OBTAINING A PERMIT FROM THE FIRE MARSHAL'S OFFICE PRIOR TO THE START OF ANY CONSTRUCTION OF ANY FIRE SERVICE.

CROSSING NUMBER	UPPER PIPE TYPE	UPPER PIPE SIZE (IN.)	LOWER PIPE TYPE	LOWER PIPE SIZE (IN.)	FINISH ELEVATION (FT)	CLEARANCE (FT)	CROSSING TYPE
1	STORM	18.00	WATER	18.00	1.50	1.50	TYPE "W"
2	STORM	18.00	SANITARY	18.00	0.51	0.51	STANDARD
3	WATER	17.48	SANITARY	17.25	2.27	2.27	STANDARD
4	FIRE	16.80	SANITARY	16.80	2.20	2.20	STANDARD
5	STORM	16.80	FIRE	16.80	1.00	1.00	TYPE "W"
6	WATER	17.15	SANITARY	17.15	2.20	2.20	STANDARD
7	FIRE	17.25	SANITARY	17.25	2.20	2.20	STANDARD
8	WATER	17.80	SANITARY	17.80	2.20	2.20	STANDARD
9	FIRE	18.00	SANITARY	18.00	2.20	2.20	STANDARD
10	FIRE	18.00	SANITARY	18.00	2.20	2.20	STANDARD
11	FIRE	18.00	SANITARY	18.00	2.20	2.20	STANDARD
12	FIRE	18.00	SANITARY	18.00	2.20	2.20	STANDARD
13	FIRE	18.00	SANITARY	18.00	2.20	2.20	STANDARD
14	WATER	18.00	SANITARY	18.00	2.20	2.20	STANDARD
15	STORM	18.00	SANITARY	18.00	2.20	2.20	STANDARD
16	STORM	18.00	FIRE	18.00	1.50	1.50	TYPE "W"
17	STORM	18.00	FIRE	18.00	1.50	1.50	TYPE "W"
18	STORM	18.00	FIRE	18.00	1.50	1.50	TYPE "W"
19	STORM	18.00	FIRE	18.00	1.50	1.50	TYPE "W"
20	STORM	18.00	FIRE	18.00	1.50	1.50	TYPE "W"
21	FIRE	18.00	SANITARY	18.00	2.20	2.20	STANDARD
22	STORM	18.00	SANITARY	18.00	2.20	2.20	STANDARD
23	STORM	18.00	FIRE	18.00	1.50	1.50	TYPE "W"
24	STORM	18.00	FIRE	18.00	1.50	1.50	TYPE "W"
25	FIRE	18.00	STORM	18.00	2.20	2.20	STANDARD
26	WATER	17.80	STORM	17.80	1.50	1.50	STANDARD
27	WATER	17.80	STORM	17.80	1.50	1.50	STANDARD
28	STORM	18.00	SANITARY	18.00	2.20	2.20	STANDARD
29	STORM	18.00	SANITARY	18.00	2.20	2.20	STANDARD



MATTHEWS DESIGN GROUP, INC.
 P.O. BOX 3126, T. WALDO STREET
 ST. AUGUSTINE, FLORIDA 32084
 PHONE: 904.826.1234
 FAX: 904.826.4547
 INFO@MATTHEWSDESIGN.COM

ALPHA-OMEGA HOUSE
 ST. JOHNS COUNTY
 PREPARED FOR

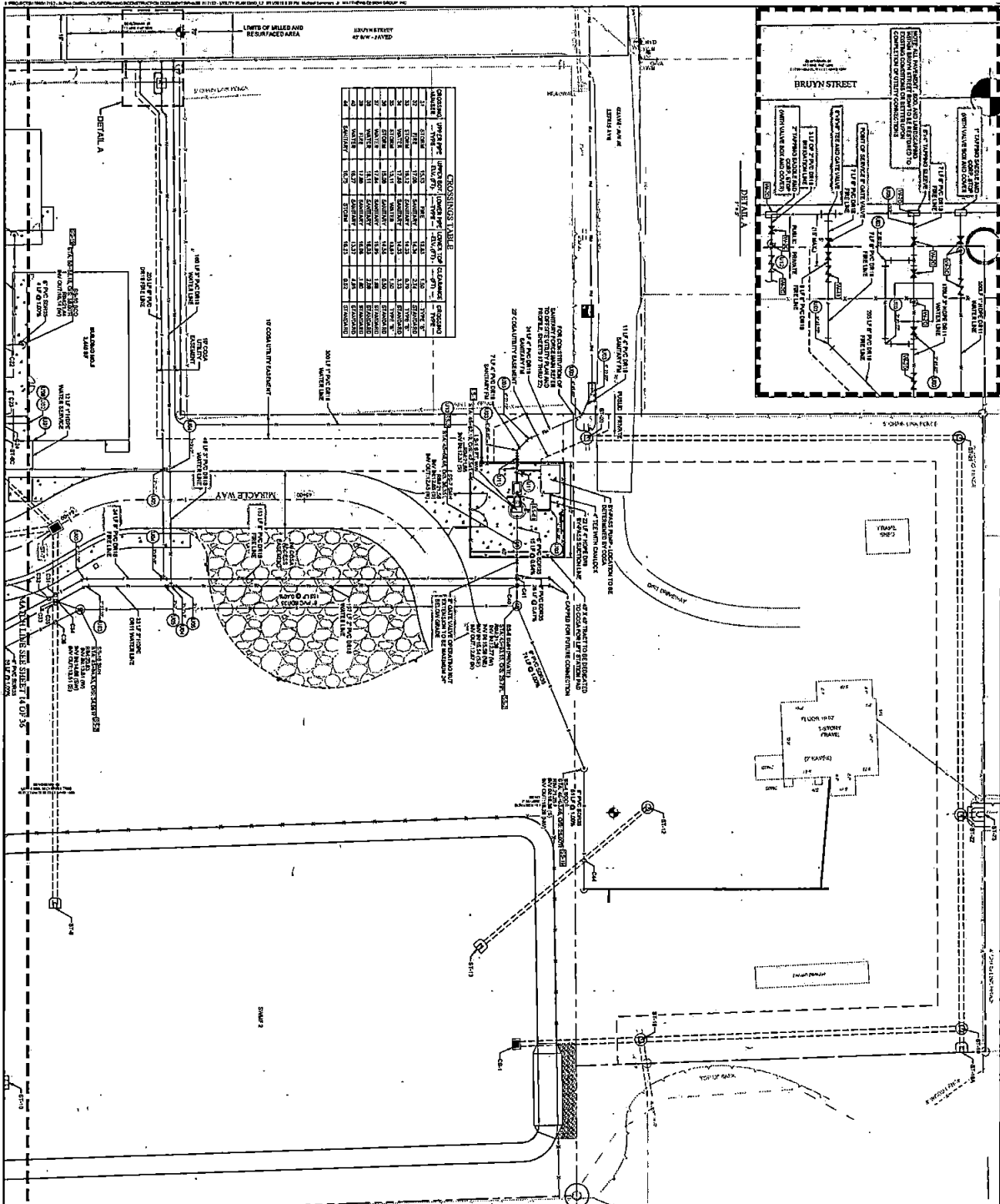
UTILITY PLAN

DATE: 05/11/2018
 DRAWN BY: J. BOYD
 CHECKED BY: J. BOYD
 PROJECT NO: 1712

REVISIONS

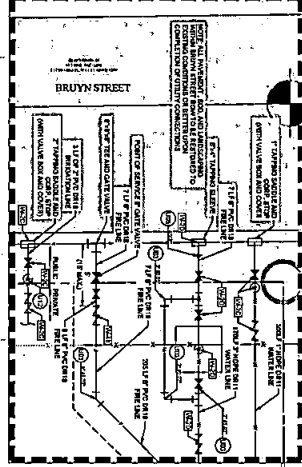
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28	05/11/2018	ISSUED FOR PERMITS
29	05/11/2018	ISSUED FOR PERMITS
30	05/11/2018	ISSUED FOR PERMITS

13 OF 22



CONNECTIONS TABLE

NO.	DESCRIPTION	DATE	BY
1	WATER MAIN CONNECTION TO HOUSE	07/11/19	CLB
2	SEWER MAIN CONNECTION TO HOUSE	07/11/19	CLB
3	GAS MAIN CONNECTION TO HOUSE	07/11/19	CLB
4	ELECTRICAL SERVICE CONNECTION TO HOUSE	07/11/19	CLB
5	WATER MAIN CONNECTION TO DRIVEWAY	07/11/19	CLB
6	SEWER MAIN CONNECTION TO DRIVEWAY	07/11/19	CLB
7	GAS MAIN CONNECTION TO DRIVEWAY	07/11/19	CLB
8	ELECTRICAL SERVICE CONNECTION TO DRIVEWAY	07/11/19	CLB
9	WATER MAIN CONNECTION TO DRIVEWAY	07/11/19	CLB
10	SEWER MAIN CONNECTION TO DRIVEWAY	07/11/19	CLB
11	GAS MAIN CONNECTION TO DRIVEWAY	07/11/19	CLB
12	ELECTRICAL SERVICE CONNECTION TO DRIVEWAY	07/11/19	CLB
13	WATER MAIN CONNECTION TO DRIVEWAY	07/11/19	CLB
14	SEWER MAIN CONNECTION TO DRIVEWAY	07/11/19	CLB
15	GAS MAIN CONNECTION TO DRIVEWAY	07/11/19	CLB
16	ELECTRICAL SERVICE CONNECTION TO DRIVEWAY	07/11/19	CLB
17	WATER MAIN CONNECTION TO DRIVEWAY	07/11/19	CLB
18	SEWER MAIN CONNECTION TO DRIVEWAY	07/11/19	CLB
19	GAS MAIN CONNECTION TO DRIVEWAY	07/11/19	CLB
20	ELECTRICAL SERVICE CONNECTION TO DRIVEWAY	07/11/19	CLB



NOTES:

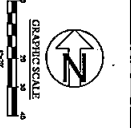
1. ALL UTILITIES SHOWN ARE BASED ON RECORD DRAWINGS AND FIELD SURVEY DATA. THE CONTRACTOR SHALL VERIFY THE LOCATION AND DEPTH OF ALL UTILITIES PRIOR TO CONSTRUCTION.
2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS FROM THE APPROPRIATE AGENCIES.
3. ALL UTILITIES SHALL BE INSTALLED IN ACCORDANCE WITH THE LATEST EDITIONS OF THE NATIONAL PLUMBING CODE, NATIONAL ELECTRICAL CODE, AND NATIONAL GAS CODE.
4. THE CONTRACTOR SHALL PROTECT ALL EXISTING UTILITIES AND STRUCTURES THAT ARE NOT TO BE REMOVED OR MOVED.
5. ALL UTILITIES SHALL BE INSTALLED AT THE DEPTHS AND SPACINGS SHOWN ON THIS PLAN.
6. THE CONTRACTOR SHALL MAINTAIN ACCESS TO ALL ADJACENT PROPERTIES AT ALL TIMES.
7. ALL UTILITIES SHALL BE INSTALLED IN ACCORDANCE WITH THE LATEST EDITIONS OF THE NATIONAL PLUMBING CODE, NATIONAL ELECTRICAL CODE, AND NATIONAL GAS CODE.
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GENERAL NOTES:

1. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS FROM THE APPROPRIATE AGENCIES.
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10. ALL UTILITIES SHALL BE INSTALLED AT THE DEPTHS AND SPACINGS SHOWN ON THIS PLAN.

UTILITY NOTES:

1. ALL UTILITIES SHALL BE INSTALLED IN ACCORDANCE WITH THE LATEST EDITIONS OF THE NATIONAL PLUMBING CODE, NATIONAL ELECTRICAL CODE, AND NATIONAL GAS CODE.
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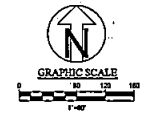
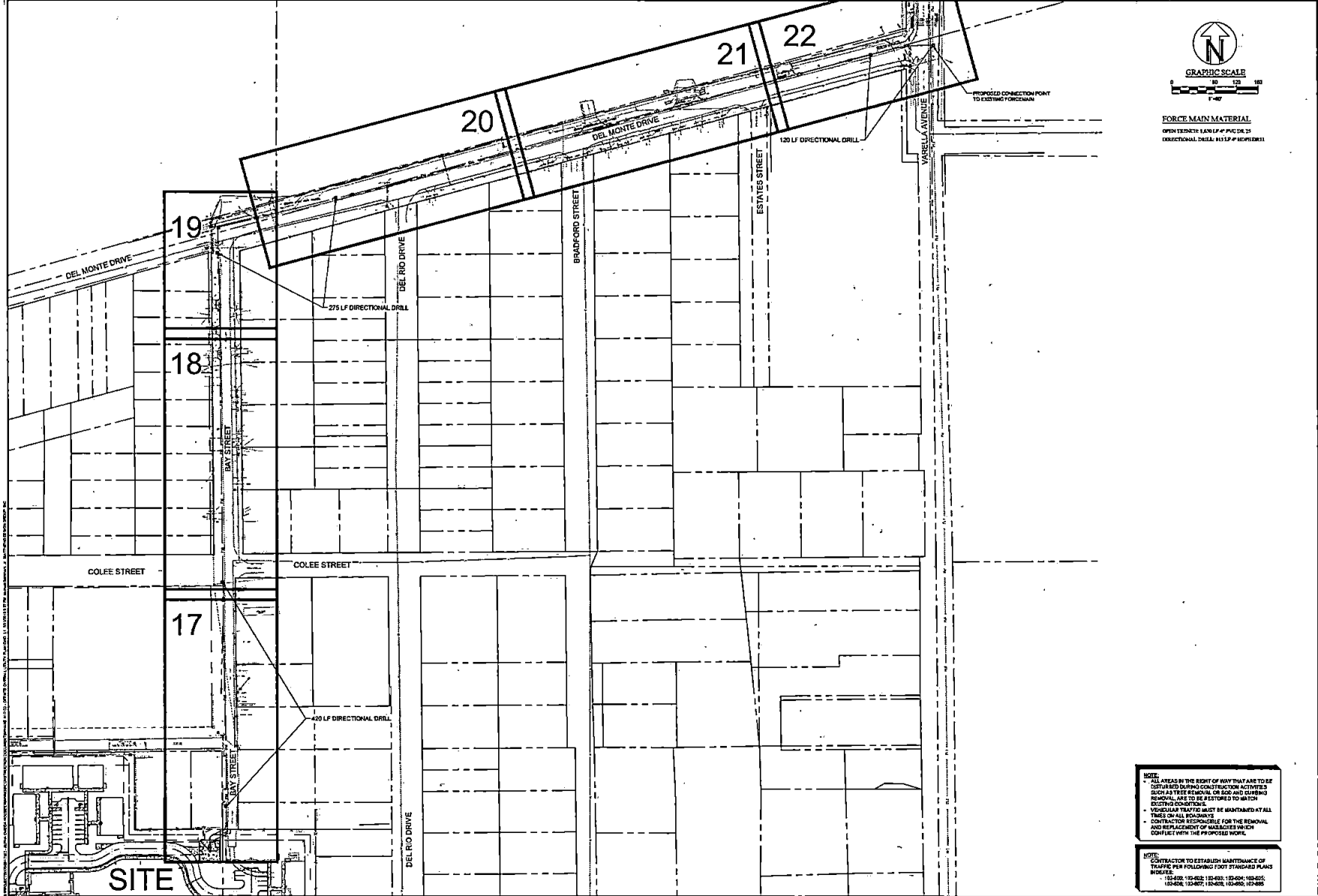


UTILITY PLAN
ALPHA-OMEGA HOUSE
 ST. JOHNS COUNTY
 PREPARED FOR
 ALPHA-OMEGA MIRACLE HOME, INC.

MATTHEWS DESIGN GROUP, INC.
 P.O. BOX 3126, 7 WALDO STREET
 ST. AUGUSTINE, FLORIDA 32084
 PHONE: 904.826.1334
 FAX: 904.826.4547
 INFO@MATTHEWSDESIGN.NET

NO.	DATE	DESCRIPTION
1	07/11/19	REVISED PER SJC, COSA AND WMO COMMENTS
2	08/07/19	REVISED PER SJC, COSA AND WMO COMMENTS
3	04/17/19	REVISED PER SJC, COSA AND WMO COMMENTS
4	07/11/19	REVISED PER COSA COMMENTS

REGISTERED ENGINEER
 CHRIS L. GUTTER, P.E.
 GAITHER, FL 01871



FORCE MAIN MATERIAL
 OPEN TRENCH: 6 IN. LF # PVC DR 25
 DIRECTIONAL DRILL: 6 IN. LF # HDPE DR 31

REVISIONS NO. DATE BY REVISION 1 07/11/2018 CUB TAC 2 07/11/2018 CUB TAC 3 07/11/2018 CUB TAC 4 07/11/2018 CUB TAC 5 07/11/2018 CUB TAC		CUB TAC CUB TAC CUB TAC
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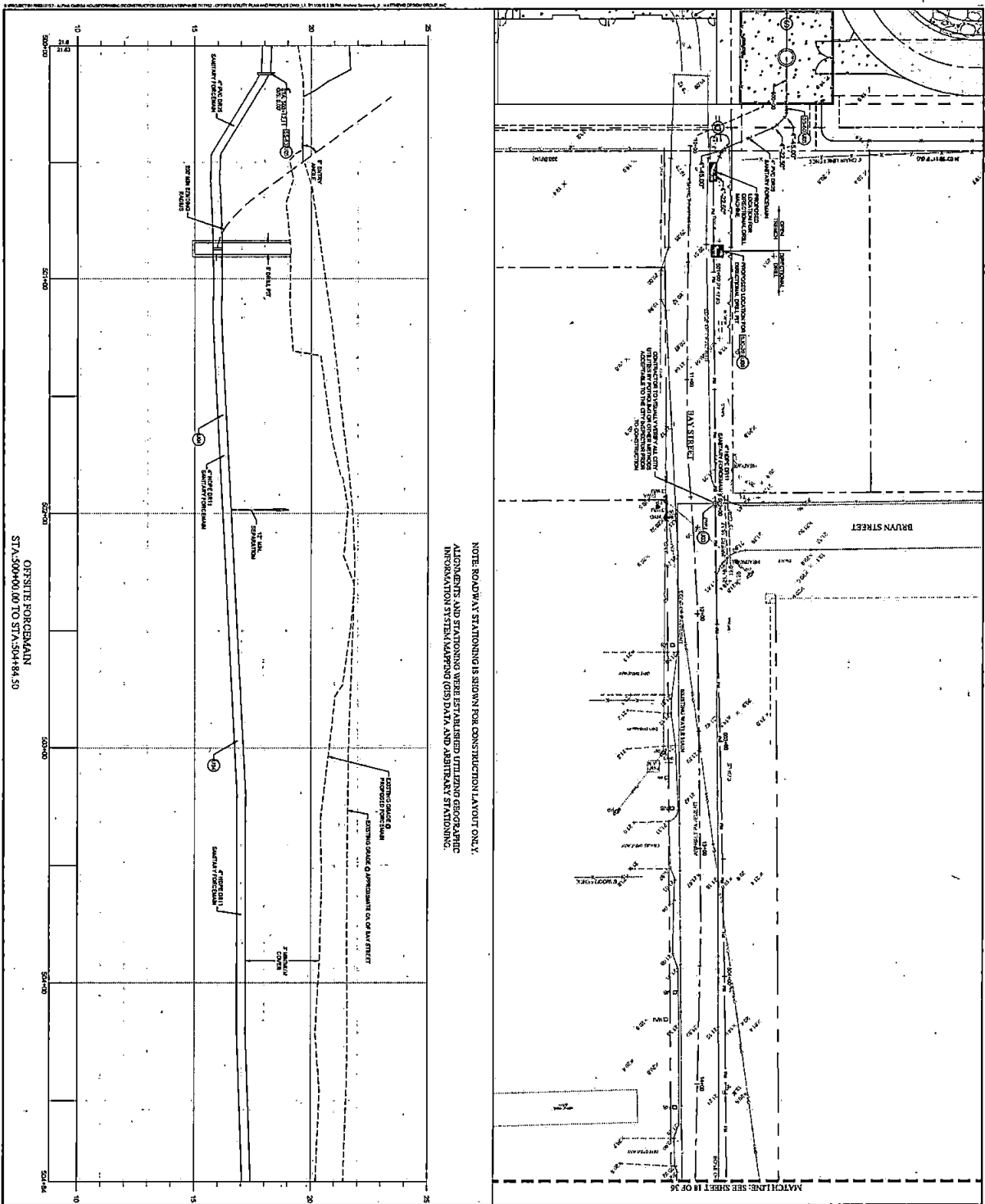
MATTHEWS DESIGN GROUP, INC.
 P.O. BOX 3126, 7 WALDO STREET
 ST. AUGUSTINE, FLORIDA 32084
 PHONE: 904.824.1204
 INFO@MATTHEWSDESIGN.NET



OVERALL OFFSITE UTILITY PLAN
ALPHA-OMEGA HOUSE
 ST. JOHNS COUNTY
 ALPHA-OMEGA AIRSPACE HOME, INC.

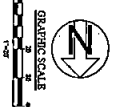
NOTE:
 ALL AREAS IN THE RIGHT OF WAY THAT ARE TO BE DISTURBED DURING CONSTRUCTION ACTIVITIES SUCH AS TREE REMOVAL OR SOIL AND GRASS REMOVAL ARE TO BE RESTORED TO MATCH EXISTING CONDITIONS.
 VEHICULAR TRAFFIC MUST BE MAINTAINED AT ALL TIMES ON ALL ROADWAYS.
 CONTRACTOR RESPONSIBLE FOR THE REMOVAL AND REPLACEMENT OF MARKERS WHICH CONFLICT WITH THE PROPOSED WORK.

NOTE:
 CONTRACTOR TO ESTABLISH MAINTENANCE OF TRAFFIC PER FOLLOWING FOOT STANDARD PLANS PROFILES.
 15-400; 15-402; 15-403; 15-404; 15-405; 15-406; 15-407; 15-408; 15-409; 15-410



NOTE: ROADWAY STATIONING IS SHOWN FOR CONSTRUCTION LAYOUT ONLY.
 ALTERNATE AND STATIONING WERE ESTABLISHED WITH ZERO GEODOMIC
 INFORMATION SYSTEM (MAPING) (GSI) DATA AND ARBITRARY STATIONING.

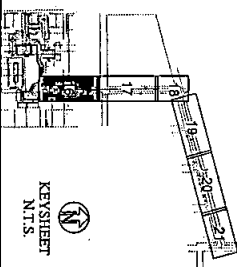
OFFSITE FORGEMAN
 STA:306+00.00 TO STA:354+84.50



- UTILITY DETAILS**
- 100 1" DIA. 10' DEPTH CONCRETE UTILITY
 - 101 1" DIA. 10' DEPTH CONCRETE UTILITY
 - 102 1" DIA. 10' DEPTH CONCRETE UTILITY
 - 103 1" DIA. 10' DEPTH CONCRETE UTILITY
 - 104 1" DIA. 10' DEPTH CONCRETE UTILITY
 - 105 1" DIA. 10' DEPTH CONCRETE UTILITY
 - 106 1" DIA. 10' DEPTH CONCRETE UTILITY
 - 107 1" DIA. 10' DEPTH CONCRETE UTILITY
 - 108 1" DIA. 10' DEPTH CONCRETE UTILITY
 - 109 1" DIA. 10' DEPTH CONCRETE UTILITY
 - 110 1" DIA. 10' DEPTH CONCRETE UTILITY
 - 111 1" DIA. 10' DEPTH CONCRETE UTILITY
 - 112 1" DIA. 10' DEPTH CONCRETE UTILITY
 - 113 1" DIA. 10' DEPTH CONCRETE UTILITY
 - 114 1" DIA. 10' DEPTH CONCRETE UTILITY
 - 115 1" DIA. 10' DEPTH CONCRETE UTILITY
 - 116 1" DIA. 10' DEPTH CONCRETE UTILITY
 - 117 1" DIA. 10' DEPTH CONCRETE UTILITY
 - 118 1" DIA. 10' DEPTH CONCRETE UTILITY
 - 119 1" DIA. 10' DEPTH CONCRETE UTILITY
 - 120 1" DIA. 10' DEPTH CONCRETE UTILITY
- UTILITY NOTES**
- 1. ALL UTILITY NOTES ARE REFERRED TO EXISTING
 - 2. ALL UTILITY NOTES ARE REFERRED TO EXISTING
 - 3. ALL UTILITY NOTES ARE REFERRED TO EXISTING
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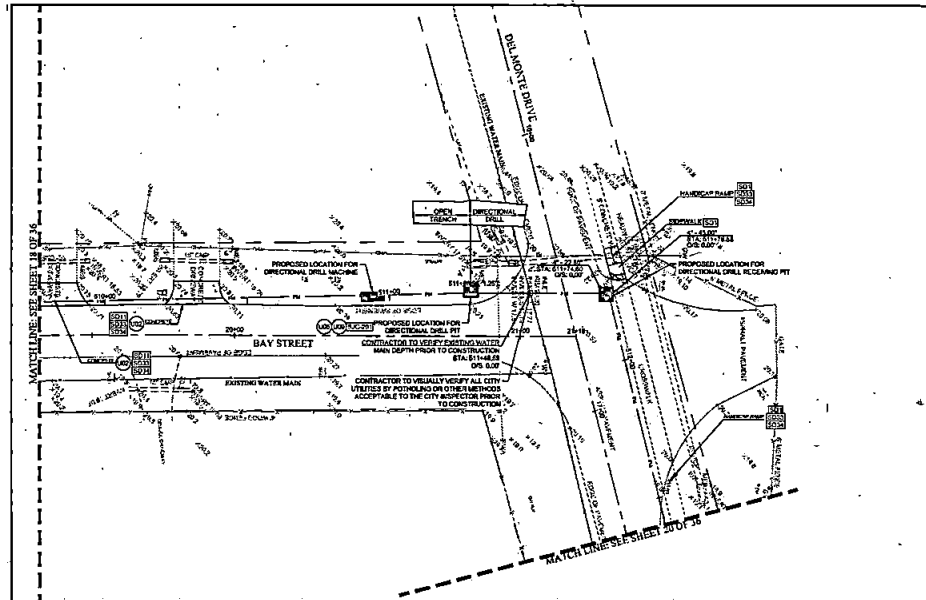
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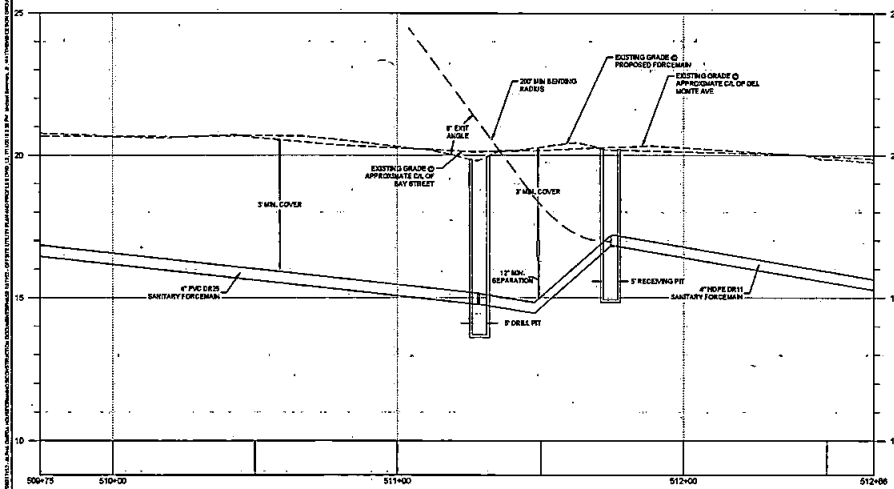


KENSHERT
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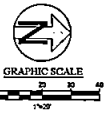
OFFSITE UTILITY PLAN AND PROFILES ALPHA-OMEGA HOUSE ST. JOHNS COUNTY PREPARED FOR: ALPHA-OMEGA MIRACLE HOME, INC.		MATTHEWS DESIGN GROUP, INC. P.O. BOX 3126, 7 WALDO STREET ST. AUGUSTINE, FLORIDA 32084 PHONE: 904.826.1334 FAX: 904.836.4547 INFO@MATTHEWSDESIGN.NET		SCALE: 1"=20' DATE: 07-11-2019 DRAWING NO: 17152	<table border="1" style="width: 100%; border-collapse: collapse;"> <thead> <tr> <th>NO.</th> <th>DATE</th> <th>DESCRIPTION</th> </tr> </thead> <tbody> <tr> <td>1</td> <td>01/17/19</td> <td>REVISED PER SJC, COSSA AND WMO COMMENTS</td> </tr> <tr> <td>2</td> <td>03/20/19</td> <td>REVISED PER SJC, COSSA AND WMO COMMENTS</td> </tr> <tr> <td>3</td> <td>04/17/19</td> <td>REVISED PER SJC, COSSA AND WMO COMMENTS</td> </tr> <tr> <td>4</td> <td>07/17/19</td> <td>REVISED PER COSSA COMMENTS</td> </tr> </tbody> </table>	NO.	DATE	DESCRIPTION	1	01/17/19	REVISED PER SJC, COSSA AND WMO COMMENTS	2	03/20/19	REVISED PER SJC, COSSA AND WMO COMMENTS	3	04/17/19	REVISED PER SJC, COSSA AND WMO COMMENTS	4	07/17/19	REVISED PER COSSA COMMENTS	REGISTERED ENGINEER DOUG L. BUTTERHOPE, P.E. CAPRON, FL 32111
NO.	DATE	DESCRIPTION																			
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NOTE: ROADWAY STATIONING IS SHOWN FOR CONSTRUCTION LAYOUT ONLY.
ALIGNMENTS AND STATIONING WERE ESTABLISHED UTILIZING GEOGRAPHIC INFORMATION SYSTEM MAPPING (GIS) DATA AND ARBITRARY STATIONING.



OFFSITE FORCEMAIN
STA: 509+74.52 TO STA: 512+66.46



- UTILITY DETAILS**
- 842-01 ST. JOHNS COUNTY - OPEN ROAD - EXTRUDED/COMPACTED FILL
 - 842-02 NAVE SOLE & COVER (NO) LOC. WITH CONSTRUCTION
 - 842-03 MANHOLE DETAIL FOR AIR RELEASE VALVES
 - 842-04 CONCRETE 8' DI. MANHOLE
 - 842-05 TYPICAL PAVEMENT SECTION
 - 842-06 STOP BAR DETAIL
 - 842-07 DETAIL OF EXISTING SHOULDER
 - 842-08 TYPICAL EXISTING SHOULDER DEMOLITION
 - 842-09 CONNECTION TO EXISTING PAVEMENT
- UTILITY NOTES**
- U01 ORT OR GRAVEL DRIVEWAY ACCESS TO BE RESTORED TO EXISTING CONDITIONS USING LIKE AND MATERIALS
 - U02 EXISTING PAVEMENT SURFACES SHALL BE SAVED.
 - U03 CONTRACTOR TO FIELD VERIFY WATER SERVICES, AS REQUIRED.
 - U04 CONTRACTOR TO RETURN TO ORIGINAL COVER AS EXISTING AS POSSIBLE. TO REDUCE THE LENGTH OF FORCEMAIN WHICH EXCEEDS 7' COVER DEPTH.
 - U05 AIR RELEASE VALVE PER CODE APPROVED MATERIALS & MANUFACTURER'S LIST, CORRECT SECTION.
 - U06 ECCENTRIC PLUS VALVE PER CODE APPROVED MATERIALS & MANUFACTURER'S LIST, CORRECT SECTION.
 - U07 REMOVE & REINSTALL VALVE, IF NECESSARY, TO FACILITATE FORCEMAIN CONSTRUCTION.
 - U08 HOT KEY PRESSURE TAPPING CONNECTION TO EXISTING FORCEMAIN TRANSFORMER FORCE MAIN MATERIAL.

REVISIONS

NO.	DATE	DESCRIPTION
1	07/15/2018	ISSUED FOR PERMITS
2	07/15/2018	ISSUED FOR PERMITS
3	07/15/2018	ISSUED FOR PERMITS
4	07/15/2018	ISSUED FOR PERMITS
5	07/15/2018	ISSUED FOR PERMITS
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8	07/15/2018	ISSUED FOR PERMITS
9	07/15/2018	ISSUED FOR PERMITS
10	07/15/2018	ISSUED FOR PERMITS

PROJECT INFORMATION

CLIENT: ALPHA-OMEGA HOUSE
 ADDRESS: 1000 W. WINDY HILL RD., ST. AUGUSTINE, FL 32084
 PHONE: 904.824.1334
 FAX: 904.824.6447

DESIGNER
 NAME: MATTHEWS DESIGN GROUP, INC.
 ADDRESS: P.O. BOX 3126, WALDO STREET, ST. AUGUSTINE, FLORIDA 32084
 PHONE: 904.824.1334
 FAX: 904.824.6447
 WEBSITE: WWW.MATTHEWSDESIGN.COM

DATE
 07/15/2018

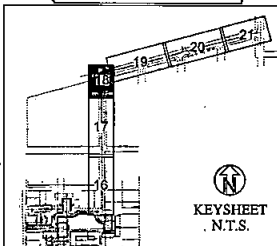
SCALE
 1" = 20'

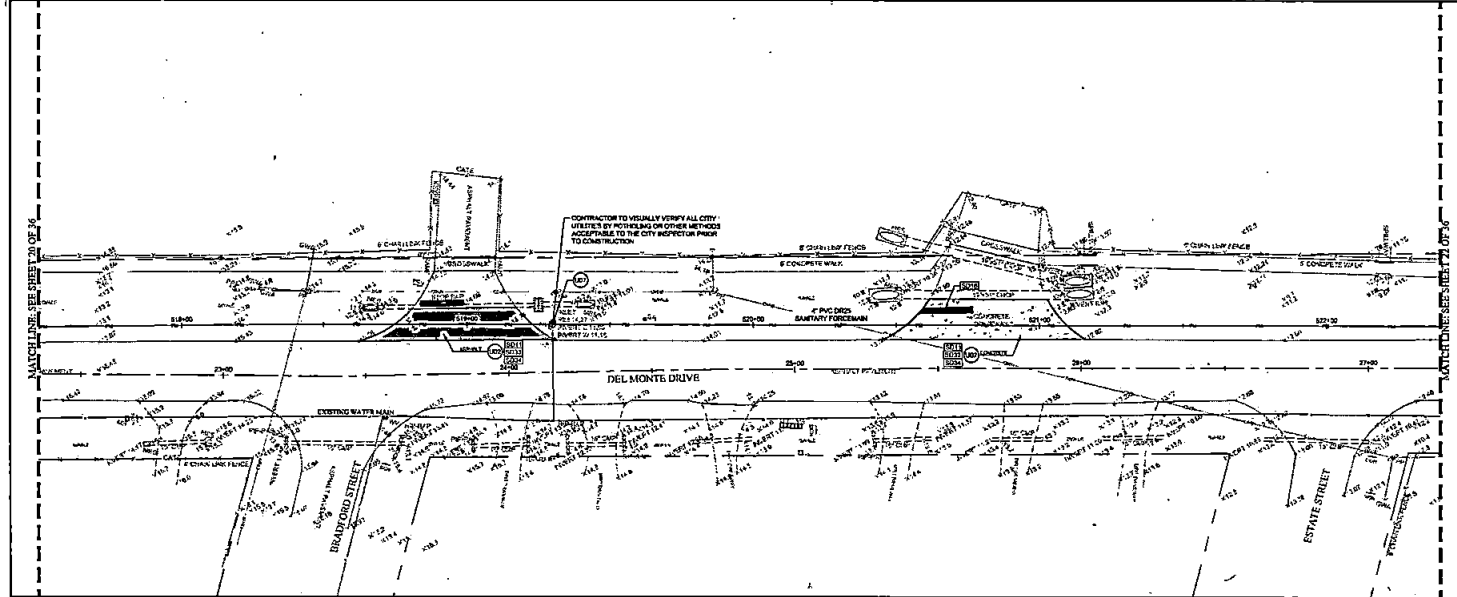
PROJECT NUMBER
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OF 42

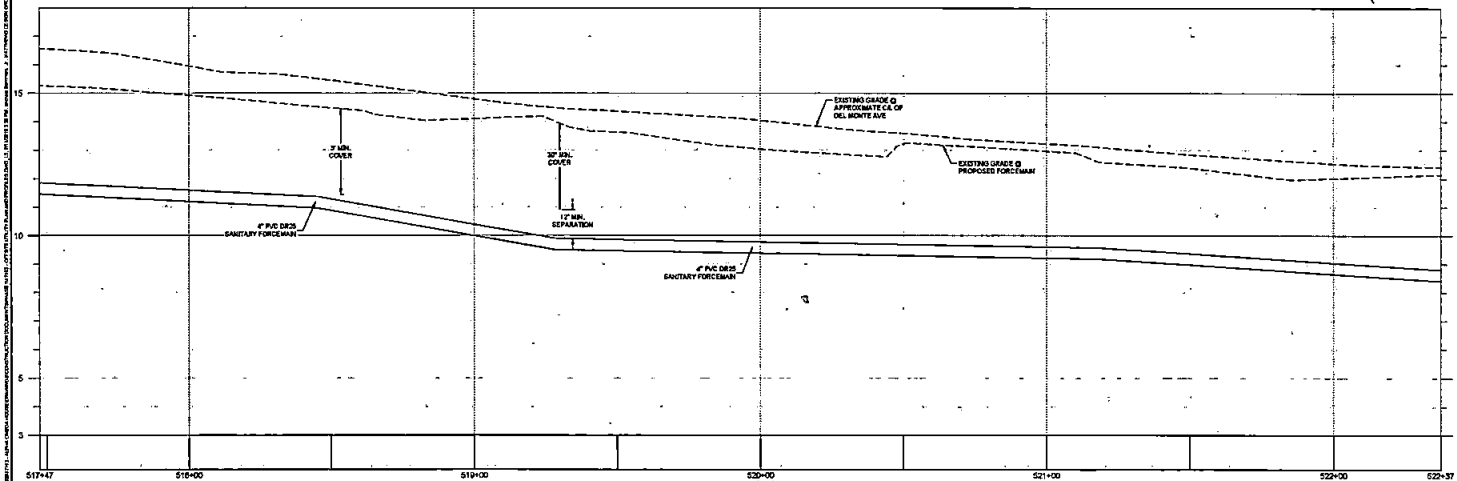
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NOTE:
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 103-400; 103-402; 103-403; 103-404; 103-405; 103-406; 103-407; 103-408; 103-409; 103-410





NOTE: ROADWAY STATIONING IS SHOWN FOR CONSTRUCTION LAYOUT ONLY.
ALIGNMENTS AND STATIONING WERE ESTABLISHED UTILIZING GEOGRAPHIC INFORMATION SYSTEM MAPPING (GIS) DATA AND ARBITRARY STATIONING.



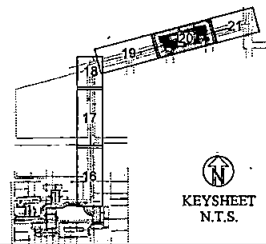
OFFSITE FORCEMAIN
STA: 517+47.46 TO STA: 522+37.47



- UTILITY DETAILS**
- 820-201 ST. JOHNS COUNTY - OPEN ROAD DITCH/CONTRACTED FILL
 - 820-6 VALVE BOX & COVER UNPAVED LOCATION NEW/CONSTRUCTION
 - 824-0 MANHOLE DETAIL FOR AIR RELEASE VALVES
 - 824 CONCRETE SIDEWALK
 - 8211 TYPICAL PAVEMENT SECTION
 - 8218 STOP BAR DETAIL
 - 8228 DETECTABLE PARKING DETAIL
 - 8233 TYPICAL EXISTING SHOULDER REMOVAL
 - 8234 CONNECTION TO EXISTING PAVEMENT
- UTILITY NOTES**
- U01 DIRT OR GRAVEL DRIVEWAY ACCESSES TO BE RESTORED TO EXISTING CONDITIONS USING LIKE-GRADE MATERIALS.
 - U02 EXISTING PAVEMENT SURFACES SHALL BE SAWCUT.
 - U03 CONTRACTOR TO FIELD VERIFY WATER SERVICE, AS REQUIRED.
 - U04 CONTRACTOR TO RETURN TO MINIMUM IF COVER AS QUICKLY AS POSSIBLE. TO REDUCE THE LENGTH OF FORCE MAIN WHEN EXCEEDS 6 COVER DEPTH.
 - U05 AIR RELEASE VALVE PER COSA APPROVED MATERIALS & MANUFACTURER'S LIST, CORRECT EXISTING.
 - U06 EXISTING PLUG VALVE PER COSA APPROVED MATERIALS & MANUFACTURER'S LIST, CORRECT EXISTING.
 - U07 REMOVE & RE-INSTALL HYDRANT, IF NECESSARY, TO FACILITATE FORCE MAIN COOPER-JECT EXISTING.
 - U08 HOTWATER PRESSURE TAPPING CONNECTION TO EXISTING FORCE MAIN. TRANSITION FORCE MAIN MATERIAL.

NOTE:
ALL AREAS IN THE RIGHT OF WAY THAT ARE TO BE DISTURBED DURING CONSTRUCTION ACTIVITIES SUCH AS TREE REMOVAL OR SOIL AND GRASS REMOVAL ARE TO BE RESTORED TO MATCH EXISTING CONDITIONS.
VEGETATION TRAILS MUST BE MAINTAINED AT ALL TIMES ON ALL ROWS.
CONTRACTOR IS RESPONSIBLE FOR THE REGIONAL AND FEDERAL AGENCY OF MAINTENANCE WHICH CONFLICT WITH THE PROPOSED WORK.

NOTE:
CONTRACTOR TO ESTABLISH MAINTENANCE OF TRAFFIC PER FOLLOWING FOOT STANDED PLATE MESSAGES:
102-400: 102-400; 102-401: 102-401; 102-402: 102-402; 102-403: 102-403; 102-404: 102-404; 102-405: 102-405.



REVISIONS

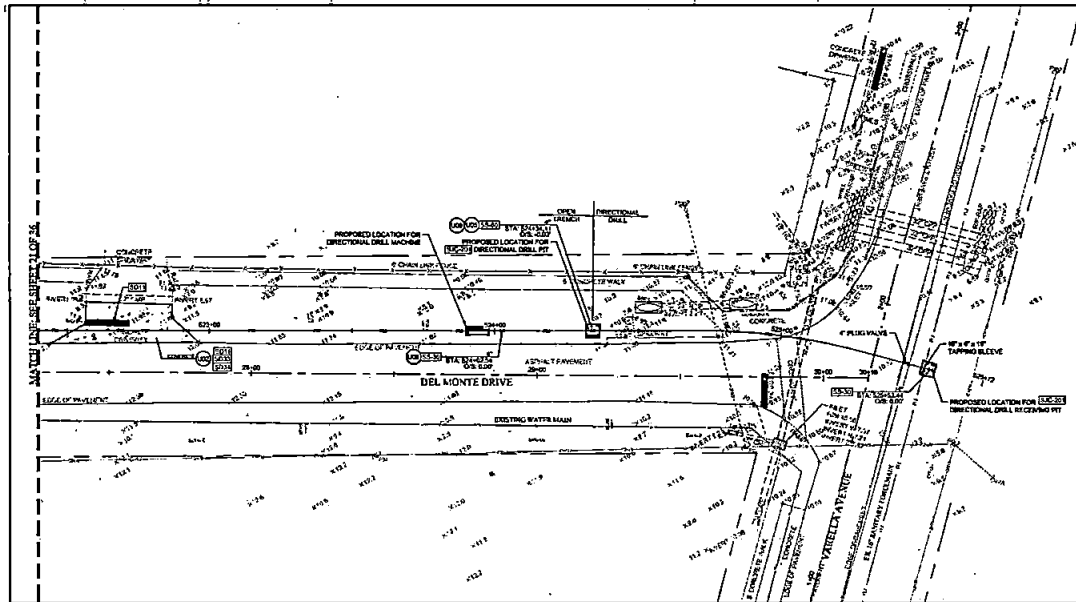
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4	07-11-2010	ISSUED FOR PERMITS	MM	MM
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DATE: 07-11-2010

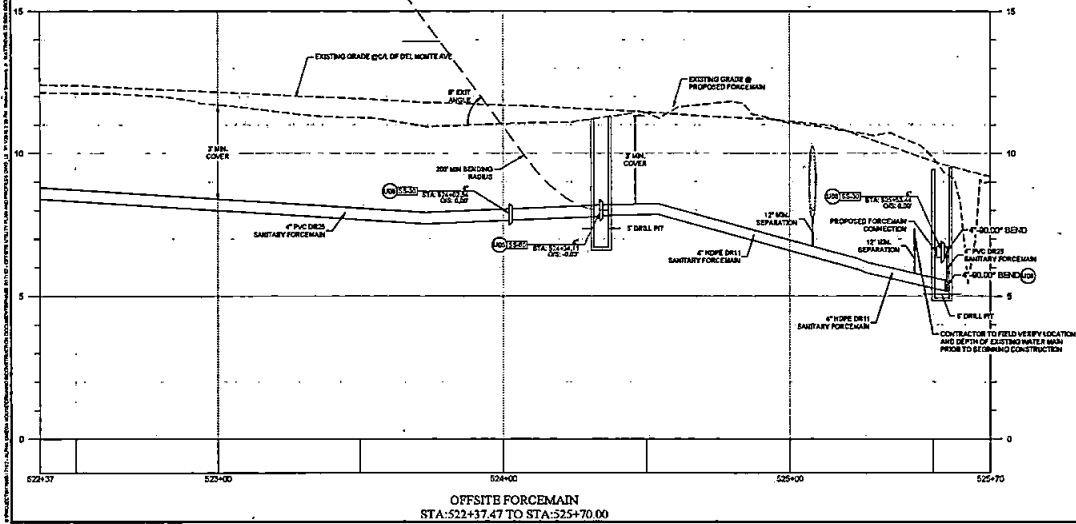
PROJECT: OFFSITE UTILITY PLAN AND PROFILES
CLIENT: ALPHA-OMEGA HOUSE
LOCATION: ST. JOHNS COUNTY
ADDRESS: ALPHA-OMEGA HOUSE, INC.

KEYSHEET N.T.S.

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OF 22



NOTE: ROADWAY STATIONING IS SHOWN FOR CONSTRUCTION LAYOUT ONLY.
 ALIGNMENTS AND STATIONING WERE ESTABLISHED UTILIZING GEOGRAPHIC INFORMATION SYSTEM MAPPING (GIS) DATA AND ARBITRARY STATIONING.



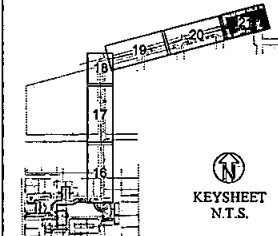
OFFSITE FORCE MAIN
 STA: 522+37.47 TO STA: 525+70.00



- UTILITY DETAILS**
- 8402R 8" LONG COUNTY-OPEN END CUT-COMPACTED FILL
 - 85-30 VALVE BOX & COVER UNPAVED LOCATION W/DIR CONSTRUCTION
 - 85-80 MANHOLE DETAIL FOR AIR RELEASE VALVES
 - 86-00 CONCRETE SIDEWALK
 - 8011 TYPICAL PAVEMENT SECTION
 - 8218 STOP SIGN DETAIL
 - 8028 DETECTABLE WALKING DETAIL
 - 8033 TYPICAL EXISTING SHOULDER CONSTRUCTION
 - 8034 CONNECTION TO EXISTING PAVEMENT
- UTILITY NOTES**
- U01 DIRT OR GRAVEL DRIVEWAY ACCESS TO BE RESTORED TO EXISTING CONDITION USING LOCAL SOILS AND MATERIALS.
 - U02 EXISTING PAVEMENT SURFACES SHALL BE REPAVED.
 - U03 CONTRACTOR TO FIELD VERIFY WATER SERVICES AS REQUIRED.
 - U04 CONTRACTOR TO RETURN TO KNOWLEDGE COVER AS QUICKLY AS POSSIBLE TO REDUCE THE LENGTH OF FORCE MAIN EXPOSURE EXCEEDS 9' COVER DEPTH.
 - U05 AIR RELEASE VALVE PER CGSA APPROVED MATERIALS & MANUFACTURER'S LIST, CORRECT EDITION.
 - U06 EXISTING PLUG VALVE PER CGSA APPROVED MATERIALS & MANUFACTURER'S LIST, CORRECT EDITION.
 - U07 REMOVE & REINSTALL HYDRANT, IF NECESSARY, TO FACILITATE FORCE MAIN CONSTRUCTION.
 - U08 HOTNET PREPARES TAPPING CONNECTION TO EXISTING FORCE MAIN, TRANSITION FORCE MAIN MATERIAL.

NOTE:
 ALL AREAS IN THE RIGHT OF WAY THAT ARE TO BE COVERED DURING CONSTRUCTION ACTIVITIES SUCH AS TREE REMOVAL OR SOIL AND CURBING REMOVAL ARE TO BE RESTORED TO MATCH EXISTING CONDITIONS.
 VEHICLE TRAFFIC MUST BE MAINTAINED AT ALL TIMES ON ALL ROADWAYS.
 CONTRACTOR RESPONSIBLE FOR THE REMOVAL AND REPLACEMENT OF MAILBOXES WHICH COLLECT WITH THE PROPOSED ROAD.

NOTE:
 CONTRACTOR TO ESTABLISH MAINTENANCE OF TRAFFIC FOR FOLLOWING FOOT STANDARD PLANS INDICATED:
 152-802; 152-803; 152-804; 152-805;
 152-806; 152-807; 152-808; 152-809



REVISIONS

NO.	DATE	DESCRIPTION	BY	CHKD.
1	07/11/2019	ISSUED FOR PERMITS		
2	07/11/2019	REVISED PER CGSA AND WMA COMMENTS		
3	07/11/2019	REVISED PER CGSA AND WMA COMMENTS		
4	07/11/2019	REVISED PER CGSA AND WMA COMMENTS		

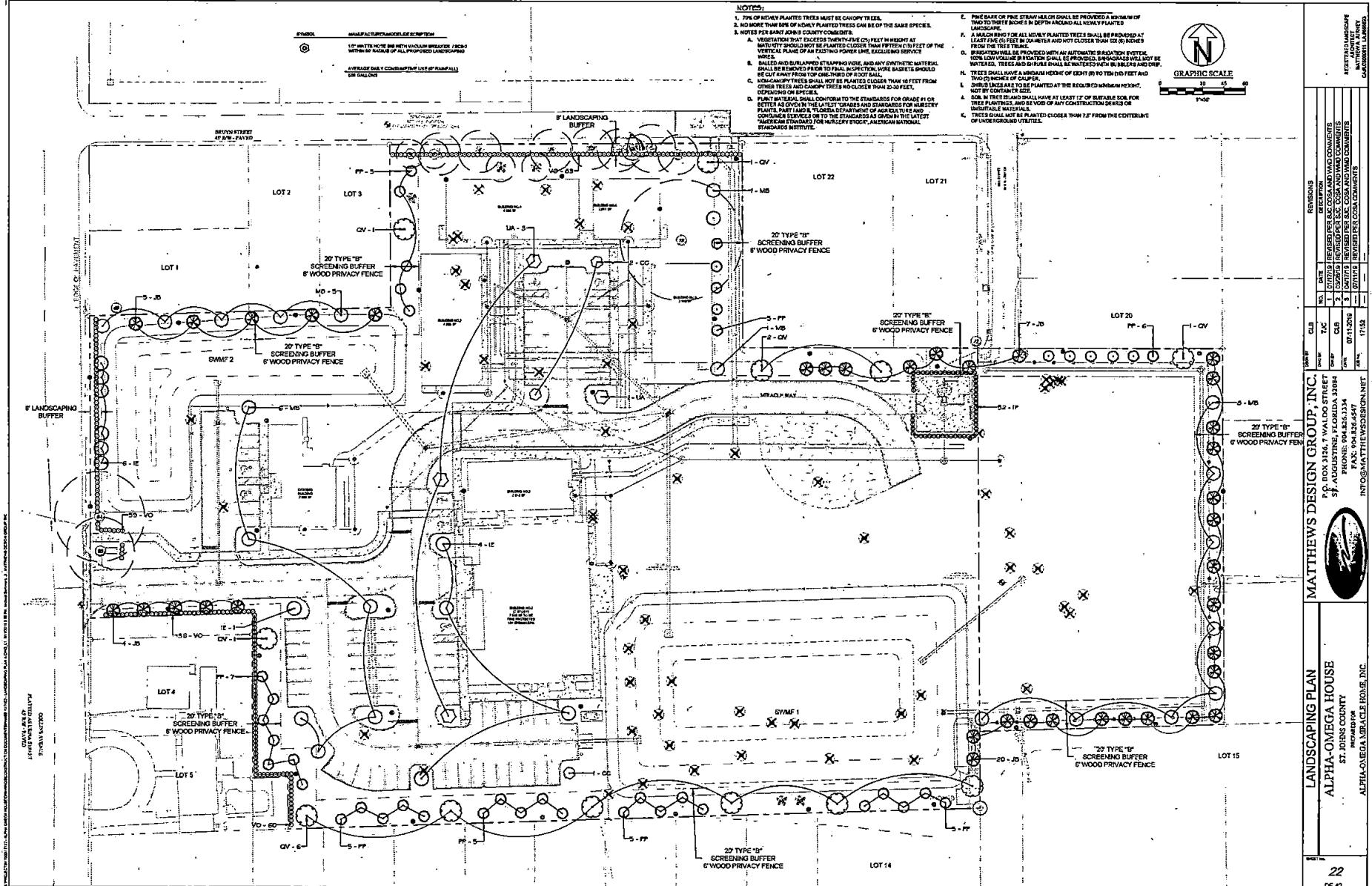
DRAWN BY: [Name]
 CHECKED BY: [Name]
 DATE: 07/11/2019
 SHEET NO: 21
 TOTAL SHEETS: 47

MATTHEWS DESIGN GROUP, INC.
 P.O. BOX 312K, 7 WALDO STREET
 ST. AUGUSTINE, FLORIDA 32084
 PHONE: 904.836.1334
 INFO@MATTHEWSDESIGN.COM

OFFSITE UTILITY PLAN AND PROFILES
ALPHA-OMEGA HOUSE
 ST. JOHN'S COUNTY
 ALPHA-OMEGA HOUSE, INC.

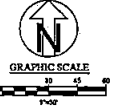
KEYSHEET
 N.T.S.

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 OF 47



NOTES:

1. TOP OF NEWLY PLANTED TREES MUST BE CROWN TO CEILING.
2. NO MORE THAN ONE OF ANY PLANTED TREES CAN BE OF THE SAME SPECIES.
3. NOTES PER BARRY JOHN'S COUNTY COMMENTS.
 - A. VEGETATION THAT EXCEEDS TWENTY-FIVE (25) FEET IN HEIGHT AT MATURITY SHOULD NOT BE PLANTED CLOSER THAN FIFTY FEET (50) FEET OF THE VERTICAL PLANE OF AN EXISTING POWER LINE, INCLUDING SERVICE WIRES.
 - B. BILLED AND BURNISHED PLASTIC WIRE AND ANY SYNTHETIC MATERIAL SHALL BE REMOVED PRIOR TO FINAL INSPECTION. WIRE BASKETS SHOULD BE CUT AWAY FROM TOP ONE THIRD OF EACH END.
 - C. NON-CROWNED TREES SHALL NOT BE PLANTED CLOSER THAN 10 FEET FROM OTHER TREES AND SHADY TREES NO CLOSER THAN 20-30 FEET, DEPENDING ON SPECIES.
 - D. PLANT MATERIAL SHALL CONFORM TO THE STANDARDS FOR GRADE IN OR BETTER AS GIVEN IN THE LATEST USARMS AND STANDARDS FOR NURSERY PLANTS, PART 1 AND 2, FEDERAL DEPARTMENT OF AGRICULTURE AND CONSUMER SERVICES ON TO THE STANDARDS AS GIVEN IN THE LATEST "NURSERY STOCK" FOR NURSERY STOCK, AMERICAN NATIONAL STANDARDS INSTITUTE.
4. THE BANK OF FINE STRAW HALEN SHALL BE PROVIDED A MINIMUM OF TWO TO THREE FEET IN DEPTH AROUND ALL NEWLY PLANTED TREES.
5. A MAJOR BRANCH OF ALL NEWLY PLANTED TREES SHALL BE PROVIDED AT LEAST ONE FEET IN DIAMETER AND NOT CLOSER THAN 20 (20) INCHES FROM THE TREE TRUNK.
6. EXISTING TREES TO BE PROVIDED WITH AN AUTOMATIC SPROUTION SYSTEM. NEW LOW VOLUME SPROUTION SHALL BE PROVIDED. BRANCHES SHALL NOT BE NOTICED. TREES AND BRANCHES SHALL BE TRIMMED WITH AN BRILLES AND CRIP. TREES SHALL HAVE A MINIMUM HEIGHT OF EIGHT (8) TO TEN (10) FEET AND TWO (2) INCHES OF CALIPER.
7. TREES SHALL HAVE A MINIMUM HEIGHT AT THE REQUIRED MINIMUM HEIGHT, NOT BY CONTAINER SIZE.
8. SOIL IN TREES SHALL HAVE AT LEAST 12" OF SUITABLE SOIL FOR TREE PLANTINGS, AND BE WOOD OF ANY CONSTRUCTION DEBRIS OR UNSUITABLE MATERIALS.
9. TREES SHALL NOT BE PLANTED CLOSER THAN 7.5' FROM THE CENTERLINE OF UNDERGROUND UTILITIES.



SYMBOLS

MANUFACTURER/MODEL/DESCRIPTION

1" = 10' WHITE NOSE BR WITH GALVAN BREAKER / 2000' WITHIN 10' RADIUS OF ALL PROPOSED LANDSCAPING

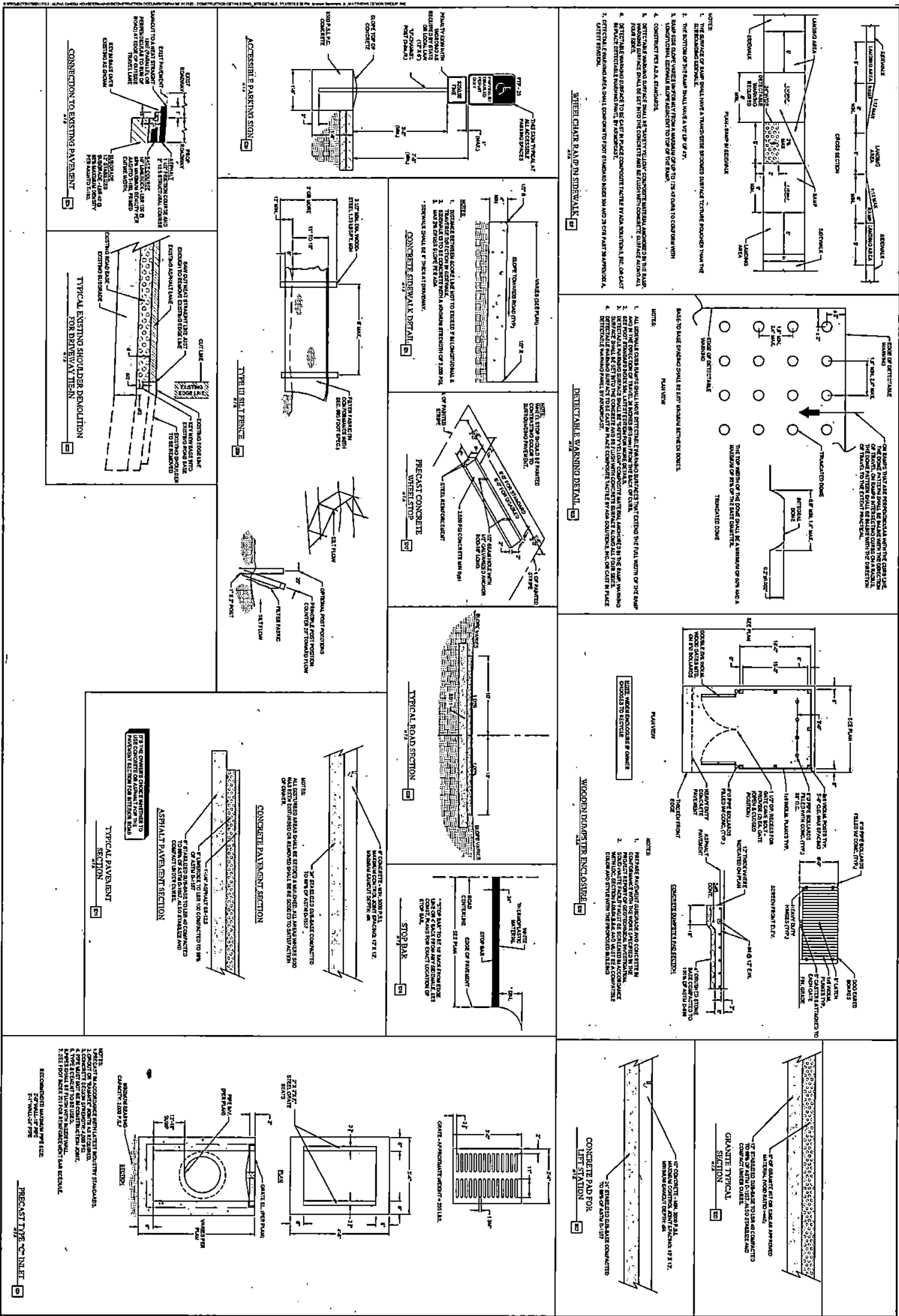
1" = 10' WHITE NOSE BR WITH GALVAN BREAKER / 2000' WITHIN 10' RADIUS OF ALL PROPOSED LANDSCAPING

MATTHEWS DESIGN GROUP, INC.
 P.O. BOX 3126, WALDOO STREET
 ST. AUGUSTINE, FLORIDA 32084
 PHONE: 904.828.1334
 FAX: 904.828.6547
 INFO@MATTHEWSDSIGN.COM

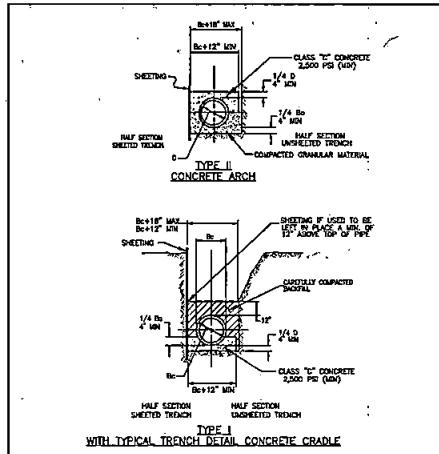
LANDSCAPING PLAN
 ALPHA-OMEGA HOUSE
 ST. JOHNS COUNTY
 AN OCEAN HOUSE, INC.

NO.	DATE	DESCRIPTION
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2	07/11/2018	REVISED PER PERMITS COMMENTS
3	07/11/2018	REVISED PER PERMITS COMMENTS
4	07/11/2018	REVISED PER PERMITS COMMENTS

22
OF 42

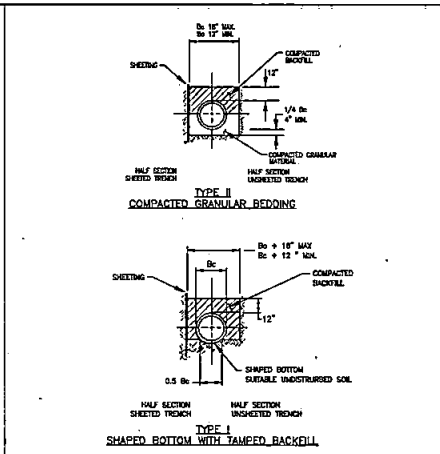


CONSTRUCTION DETAILS		MATTHEWS DESIGN GROUP, INC.		REVISIONS	
ALPHA-OMEGA HOUSE		F.O. BOX 31236, 7 WALDO STREET		NO.	DATE
ST. JOHNS COUNTY		ST. AUGUSTINE, FLORIDA 32084		1	07/17/19
PREPARED FOR		PHONE: 904.826.1334		2	09/26/19
ALPHA-OMEGA MIRACLE HOME, INC.		FAX: 904.826.4547		3	07-11-2019
		INFO@MATTHEWSDESIGN.NET		4	07/17/19
				5	
				6	
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				12	
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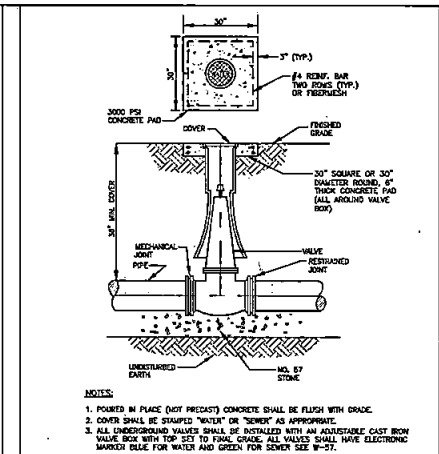
TYPE I WITH TYPICAL TRENCH DETAIL CONCRETE ARCH

CLASS A REVISION DATE: FEB 2017 NOT TO SCALE: SS-26&W-42



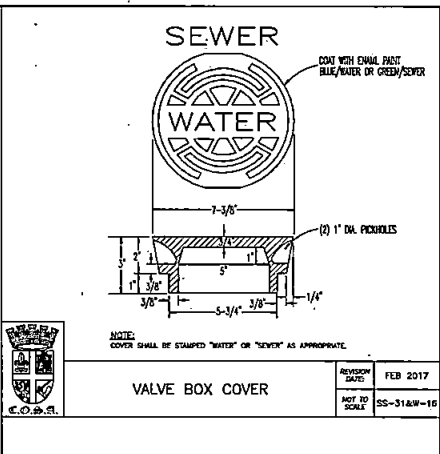
TYPE II COMPACTED GRANULAR BEDDING

CLASS B REVISION DATE: FEB 2017 NOT TO SCALE: SS-27&W-43



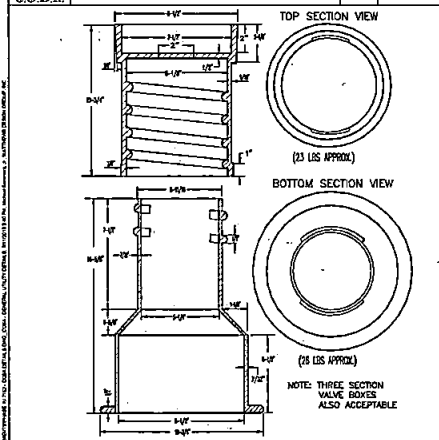
VALVE BOX & COVER UNPAIRED LOCATION NEW CONSTRUCTION

REVISION DATE: FEB 2017 NOT TO SCALE: SS-30&W-18



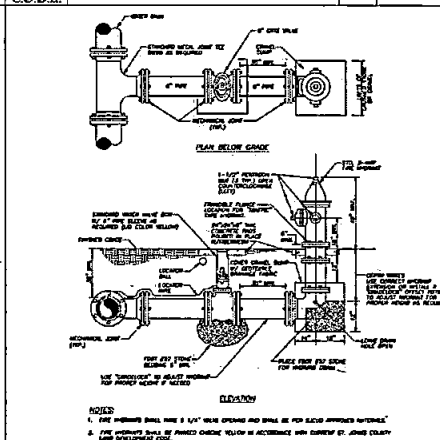
VALVE BOX COVER

REVISION DATE: FEB 2017 NOT TO SCALE: SS-31&W-19



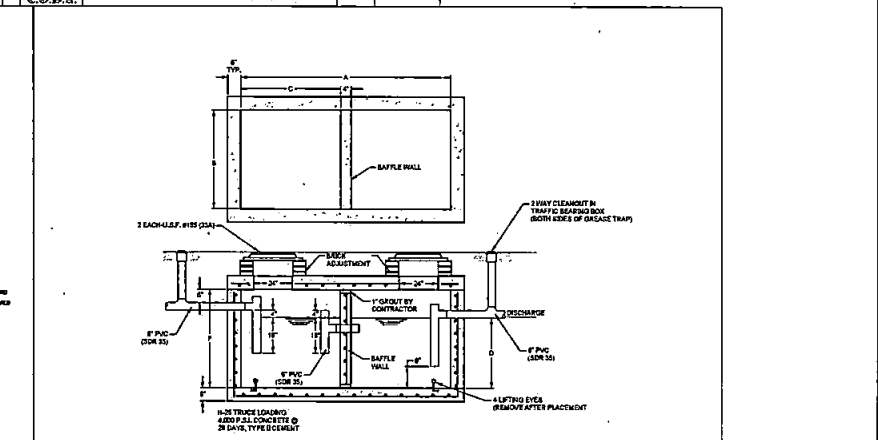
VALVE BOX

REVISION DATE: FEB 2017 NOT TO SCALE: SS-32&W-17



FIRE HYDRANT INSTALLATION USING MECHANICAL JOINT TEE

REVISION DATE: FEB 2017 NOT TO SCALE: SS-33&W-18



GREASE TRAP

REVISION DATE: FEB 2017 NOT TO SCALE: SS-34&W-19

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E	6'-0"	6'-0"	6'-0"	6'-0"	6'-0"	6'-0"	6'-0"
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REVISION DATE: FEB 2017 NOT TO SCALE: SS-36&W-21

REVISION DATE: FEB 2017 NOT TO SCALE: SS-37&W-22

REVISION DATE: FEB 2017 NOT TO SCALE: SS-38&W-23

REVISION DATE: FEB 2017 NOT TO SCALE: SS-39&W-24

REVISION DATE: FEB 2017 NOT TO SCALE: SS-40&W-25

REVISION DATE: FEB 2017 NOT TO SCALE: SS-41&W-26

REVISION DATE: FEB 2017 NOT TO SCALE: SS-42&W-27

REVISION DATE: FEB 2017 NOT TO SCALE: SS-43&W-28

REVISION DATE: FEB 2017 NOT TO SCALE: SS-44&W-29

REVISION DATE: FEB 2017 NOT TO SCALE: SS-45&W-30

REVISION DATE: FEB 2017 NOT TO SCALE: SS-46&W-31

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REVISION DATE: FEB 2017 NOT TO SCALE: SS-100&W-85

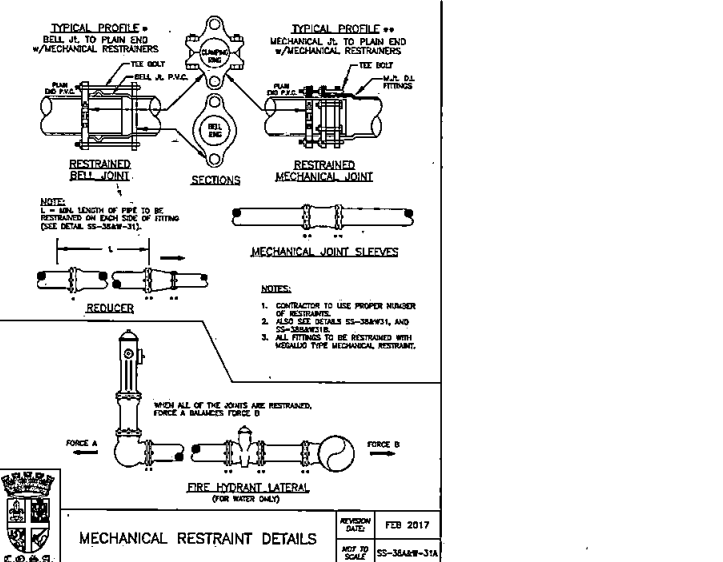
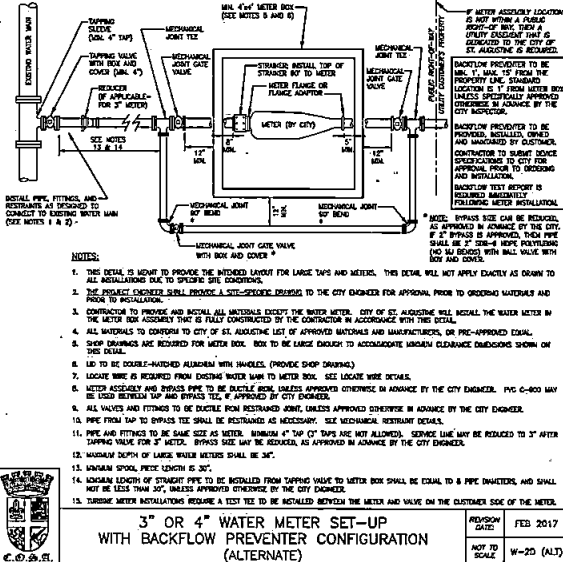
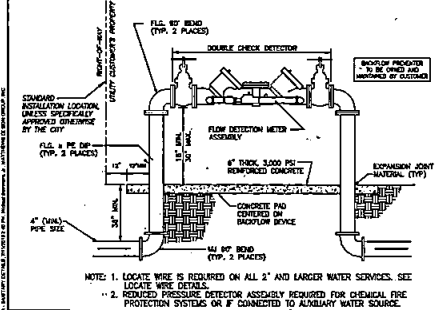
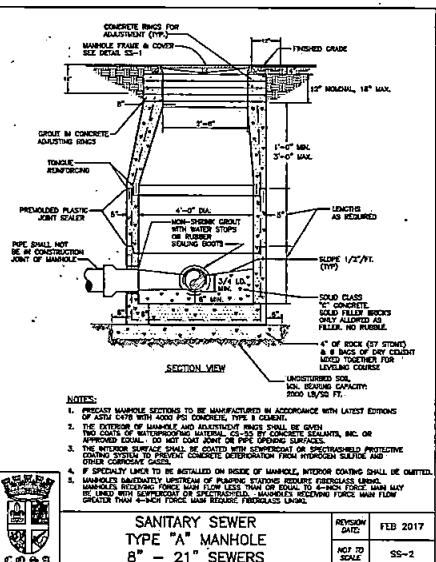
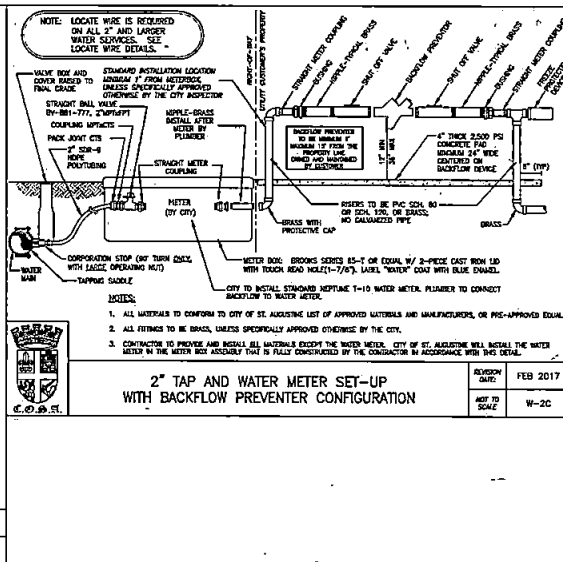
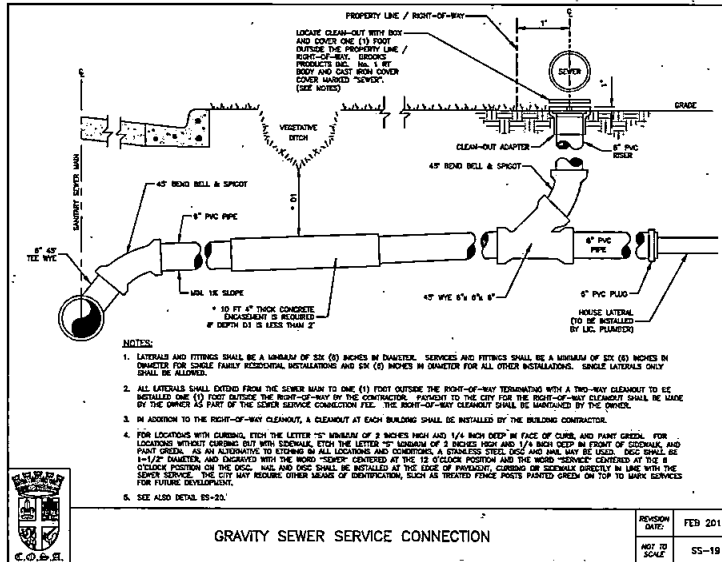
MATTHEWS DESIGN GROUP, INC.
 P.O. BOX 1324, 7 WALDO STREET
 ST. AUGUSTINE, FLORIDA 32084
 PHONE: 904.824.1334
 FAX: 904.824.4547
 WWW.MATTHEWSDSG.COM

ALPHA-OMEGA HOUSE
 ST. JOHNS COUNTY
 #10000000
 ALPHA-OMEGA, NABRIDGE HOUSE, INC.

REVISIONS

NO.	DATE	DESCRIPTION
1	01/11/2018	ISSUED FOR PER COSA COMMENTS
2	01/11/2018	ISSUED FOR PER COSA COMMENTS
3	01/11/2018	ISSUED FOR PER COSA COMMENTS
4	01/11/2018	ISSUED FOR PER COSA COMMENTS
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REGISTERED PROFESSIONAL ENGINEER
 STATE OF FLORIDA
 LICENSE NO. 11112

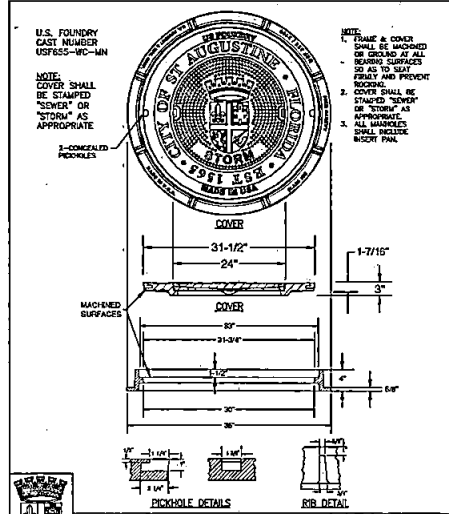


MATTHEWS DESIGN GROUP, INC.
P.O. BOX 3126, 7 WALDO STREET
ST. AUGUSTINE, FLORIDA 32084
PHONE: 904.826.1334
FAX: 904.826.6546
WWW.MATTHEWSDSG.COM

COSA UTILITY DETAILS
ALPHA-OMEGA HOUSE
ST. JOHNS COUNTY
ALPHA-OMEGA, A TRULIFE HOME, INC.

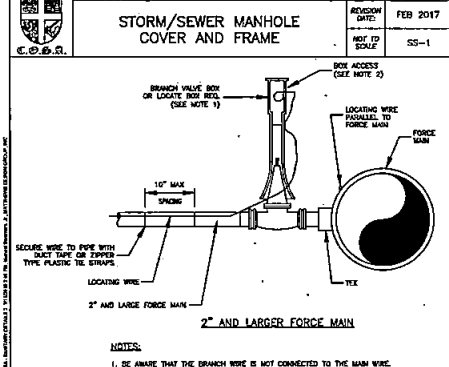
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NO.	DATE	DESCRIPTION
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36	07-11-2010	ISSUED FOR PERMITS
37	07-11-2010	ISSUED FOR PERMITS
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44	07-11-2010	ISSUED FOR PERMITS
45	07-11-2010	ISSUED FOR PERMITS
46	07-11-2010	ISSUED FOR PERMITS
47	07-11-2010	ISSUED FOR PERMITS
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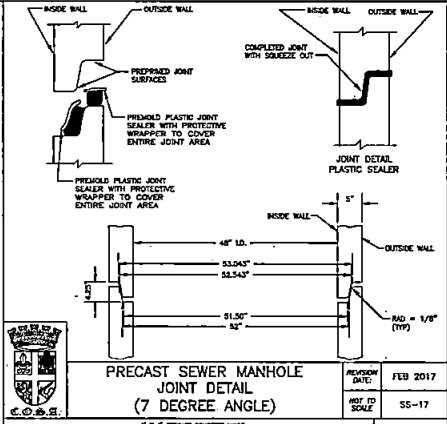
STORM/SEWER MANHOLE COVER AND FRAME

REVISION DATE: FEB 2017
NOT TO SCALE: SS-1



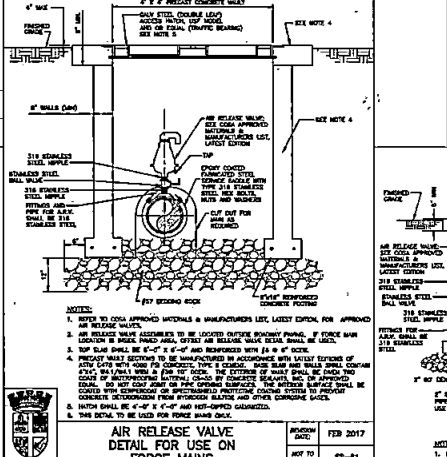
LOCATE WIRE FOR BRANCH FORCE MAIN

REVISION DATE: FEB 2017
NOT TO SCALE: SS-57



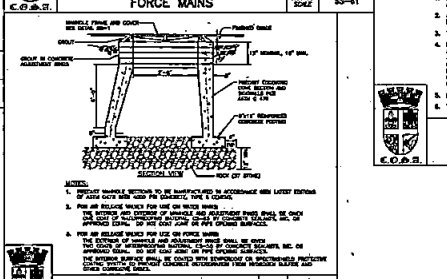
PRECAST SEWER MANHOLE JOINT DETAIL (7 DEGREE ANGLE)

REVISION DATE: FEB 2017
NOT TO SCALE: SS-17



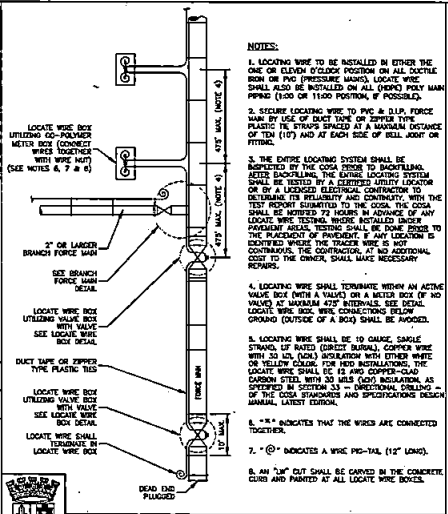
AIR RELEASE VALVE DETAIL FOR USE ON FORCE MAINS

REVISION DATE: FEB 2017
NOT TO SCALE: SS-81



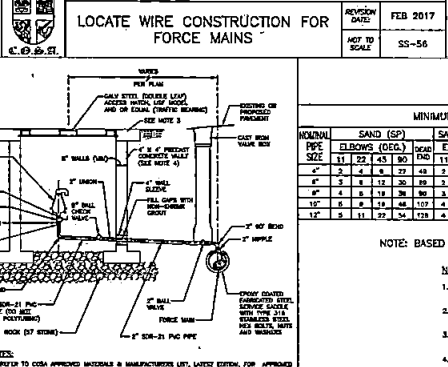
MANHOLE DETAIL FOR AIR RELEASE VALVES

REVISION DATE: FEB 2017
NOT TO SCALE: SS-68&W-40



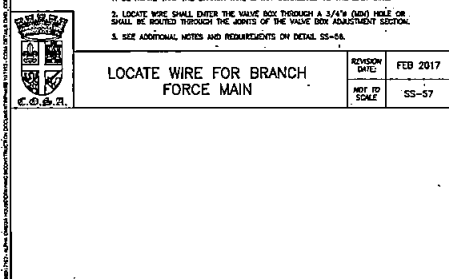
LOCATE WIRE CONSTRUCTION FOR FORCE MAINS

REVISION DATE: FEB 2017
NOT TO SCALE: SS-56



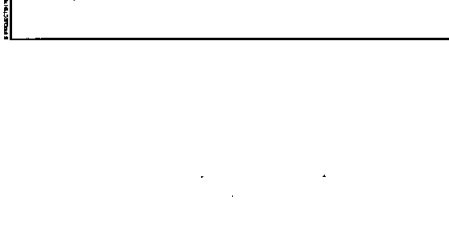
MECHANICAL RESTRAINT DETAILS

REVISION DATE: FEB 2017
NOT TO SCALE: SS-38&W-31



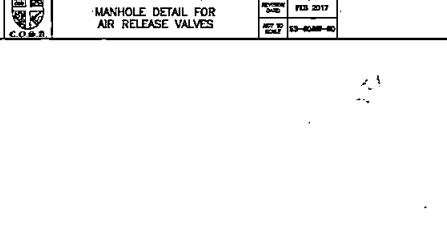
LOCATE WIRE FOR BRANCH FORCE MAIN

REVISION DATE: FEB 2017
NOT TO SCALE: SS-57



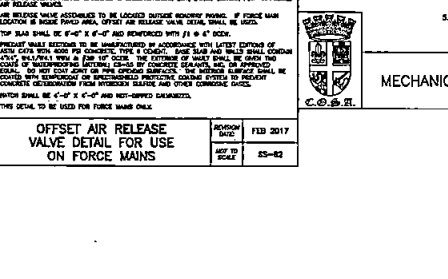
STORM/SEWER MANHOLE COVER AND FRAME

REVISION DATE: FEB 2017
NOT TO SCALE: SS-1



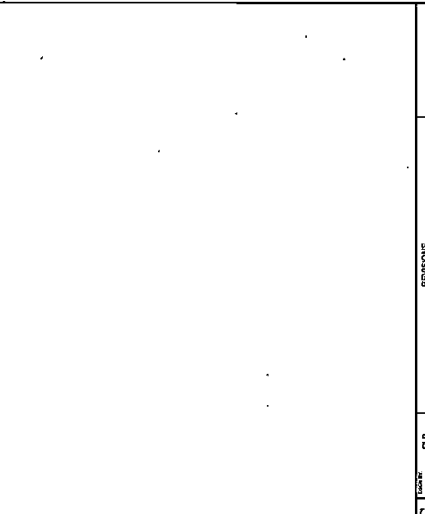
AIR RELEASE VALVE DETAIL FOR USE ON FORCE MAINS

REVISION DATE: FEB 2017
NOT TO SCALE: SS-81



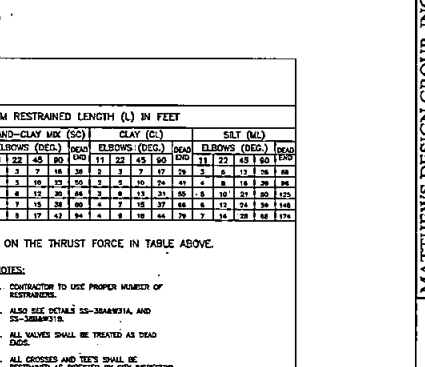
MANHOLE DETAIL FOR AIR RELEASE VALVES

REVISION DATE: FEB 2017
NOT TO SCALE: SS-68&W-40



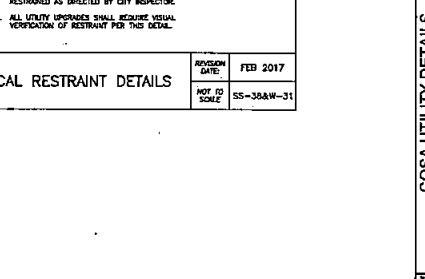
LOCATE WIRE CONSTRUCTION FOR FORCE MAINS

REVISION DATE: FEB 2017
NOT TO SCALE: SS-56



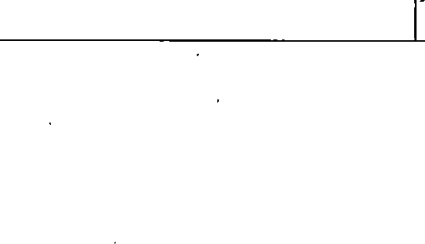
MECHANICAL RESTRAINT DETAILS

REVISION DATE: FEB 2017
NOT TO SCALE: SS-38&W-31



LOCATE WIRE FOR BRANCH FORCE MAIN

REVISION DATE: FEB 2017
NOT TO SCALE: SS-57



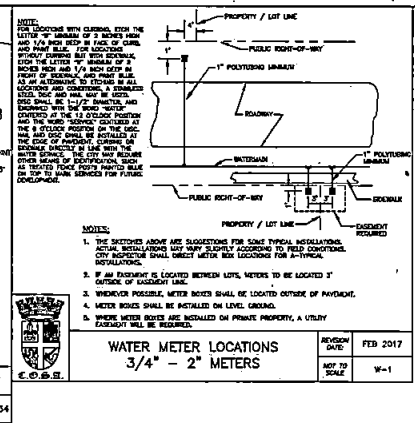
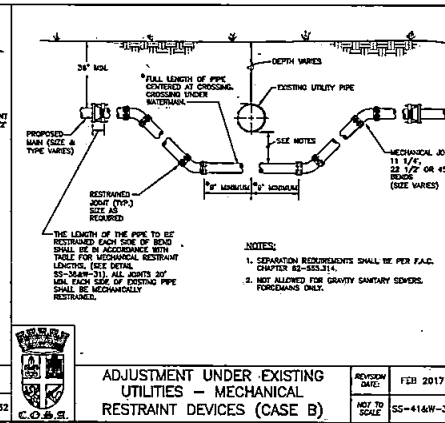
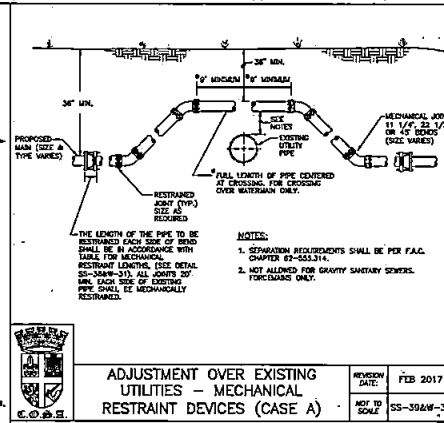
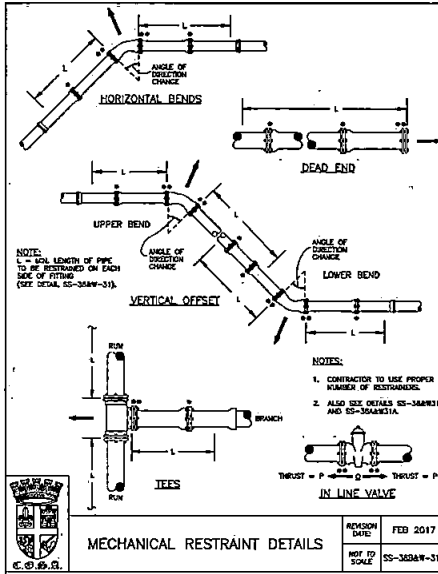
STORM/SEWER MANHOLE COVER AND FRAME

REVISION DATE: FEB 2017
NOT TO SCALE: SS-1

MATTHEWS DESIGN GROUP, INC.
 P.O. BOX 3126, 7 WALDO STREET
 ST. AUGUSTINE, FLORIDA 32084
 PHONE: 904.824.1334
 FAX: 904.824.1335
 INFO@MATTHEWSDSGROUP.NET

COSULITY DETAILS
ALPHA-OMEGA HOUSE
 ST. JOHNS COUNTY
 ALPHA-OMEGA MIRAGE HOME, INC.

28
 OF 42



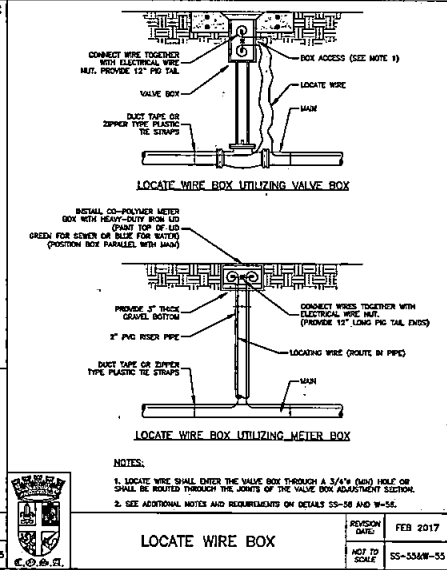
OTHER PIPE	HORIZONTAL SEPARATION	CROSSINGS (1)	JOINT SPACING @ CROSSINGS (FULL JOINT CENTERED)
STORM SEWER, STORMWATER FORCE MAIN, RECLAIMED WATER (2)	3 FT. MINIMUM	12 IN. MIN., EXCEPT STORM SEWER, THEN 6 IN. MIN., 12 IN. PREFERRED	ALTERNATE 3 FT. MINIMUM
VACUUM SANITARY SEWER	10 FT. PREFERRED, 3 FT. MINIMUM	12 IN. PREFERRED, 6 IN. MINIMUM	ALTERNATE 3 FT. MINIMUM
GRAVITY OR PRESSURE SANITARY SEWER, SANITARY SEWER FORCE MAIN, RECLAIMED WATER (4)	10 FT. PREFERRED, 6 FT. MINIMUM (3)	12 IN. MIN., EXCEPT GRAVITY SEWER, THEN 6 IN. MIN., 12 IN. PREFERRED	ALTERNATE 6 FT. MINIMUM
ON-SITE SEWAGE TREATMENT & DISPOSAL SYSTEM	10 FT. MINIMUM		

ALL DISTANCES ARE TO OUTER PIPE WALL.
 (1) WATER MAIN SHOULD CROSS ABOVE OTHER PIPE WHEN AT ALL POSSIBLE. WHEN WATER MAIN MUST BE BELOW OTHER PIPE, THE MINIMUM SEPARATION IS 18 INCHES.
 (2) RECLAIMED WATER REGULATED UNDER PART III OF CHAPTER 62-610, F.A.C.
 (3) 3 FT. FOR GRAVITY SANITARY SEWER WHERE THE BOTTOM OF THE WATER MAIN IS LAID AT LEAST 6 INCHES ABOVE THE TOP OF THE GRAVITY SANITARY SEWER.
 (4) RECLAIMED WATER NOT REGULATED UNDER PART III OF CHAPTER 62-610 F.A.C.

DESIGN SEPARATION SHALL BE GREATER THAN MINIMUMS TO ALLOW FOR TOLERANCE IN FIELD. CITY INSPECTOR MAY DIRECT ALTERNATE SEPARATION REQUIREMENTS BASED ON FIELD CONDITIONS.
 DISCLAIMER - THIS DETAIL IS PROVIDED FOR CONVENIENCE ONLY. PLEASE REFER TO F.A.C. RULE 62-555.314 AND C.O.S.A. STANDARDS AND SPECIFICATIONS DESIGN MANUAL AND DETAILS FOR ADDITIONAL CONSTRUCTION REQUIREMENTS.

UTILITY SEPARATION REQUIREMENTS

REVISION DATE: FEB 2017
NOT TO SCALE: SS-426W-35



MATTHEWS DESIGN GROUP, INC.
 P.O. BOX 3136, WALDO STREET
 ST. AUGUSTINE, FLORIDA 32084
 PHONE: 904.824.1334
 FAX: 904.824.1334
 INFO@MATTHEWSDESIGN.COM

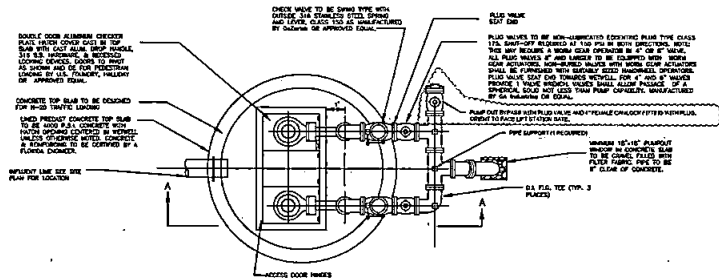
COSA UTILITY DETAILS
ALPHA-OMEGA HOUSE
 ST. JOHNS COUNTY
 ALPHA-OMEGA SURFACE HOUSE, INC.

NO. DATE DESCRIPTION
 1. 02/11/2018 REVISION FOR COSA AND WAVE COMMENTS
 2. 02/11/2018 REVISION FOR COSA COMMENTS
 3. 02/11/2018 REVISION FOR COSA COMMENTS
 4. 02/11/2018 REVISION FOR COSA COMMENTS

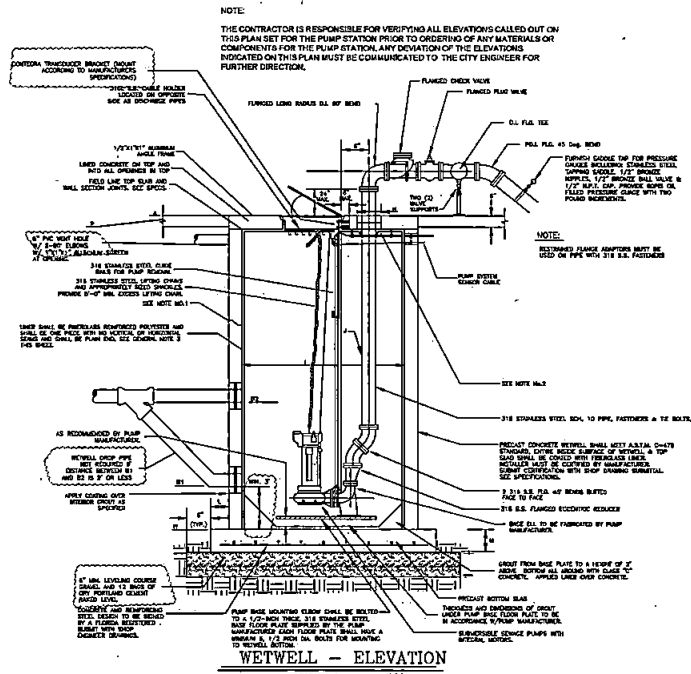
REVISIONS:
 DESIGNED BY: [Name]
 CHECKED BY: [Name]
 DATE: [Date]

REGISTERED ENGINEER
 CIVIL ENGINEER, P.E.
 LICENSE NO. [Number]
 STATE OF FLORIDA

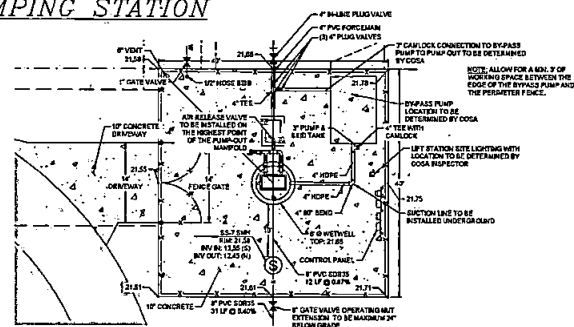
CITY OF ST. AUGUSTINE DUPLEX PUMPING STATION



WETWELL - PLAN
N.T.S.



WETWELL - ELEVATION
SECTION A-A N.T.S.



PUMP STATION INFORMATION

SCHEDULE OF ELEVATIONS:

PUMP STATION STREET ADDRESS	TOP ELEV.	INFLUENT ELEV.	EFFLUENT ELEV.	ALARM ELEV.	LEAD PUMP ON OFF	LAG PUMP ON OFF	BOTH PUMPS OFF	BOTTOM ELEV.	WET WELL TOP (1/2\"/>						
		A	B1	B2	C	E	F	G	H	I	J	K	L	M	N
	21.65	9.37	12.37	11.87	10.87	11.37	8.87	6.87	5	4	4	1	10	10	21.63

PUMP MANUFACTURER FLYGT
MODEL MP 3127 **IMPELLER** 159mm
DISCHARGE 4" **MOTOR RPM** 3485
11 HP 220 VOLTS 3 PHASE 60 HZ
DESIGN POINT 80 GPM AT 96.69 FT. TDH
RUNOUT POINT 154 GPM AT 73.54 FT.DH
MAX. SPHERE 3 INCHES
PUMP ACCESS HATCH SIZE 3' X 4'
PUMP CENTERLINE SEPARATION 20"

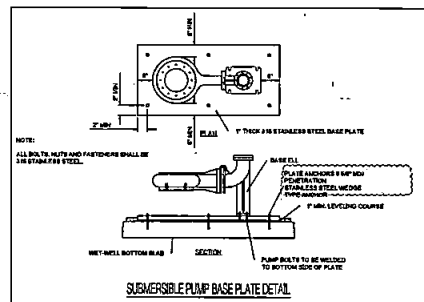
NOTE: PUMPOUT SIZES

- 1" X 4" FOR 4" & 6" DISCHARGE F.M.
 - 1" X 6" FOR 8" DISCHARGE F.M.
 - 1" X 8" FOR 10" & 12" DISCHARGE F.M.
 - 1" X 12" FOR 14" AND LARGER DISCHARGE F.M.
- PROVIDE D.I. F.L.G. REDUCING 90° BEND REDUCING TO 6" ON 8" AND LARGER PUMPOUT CONNECTIONS.

** DISCHARGE PUMPO SIZE	PIPE HOLE DIAMETER (IN)
4"	10"
6"	12"
8"	14.5"
10"	17"
12"	20"

GENERAL NOTES:

1. ALL EXTERIOR JOINTS OF PRECAST CONCRETE WETWELLS SHALL BE SEALED WITH A RUBBERIZED ASPHALT MEMBRANE TAPE TAPE SHALL BE PERM-A-BARRIER BY W.R. GRADE, ELASTOPUR BY KARMAK OR EQUAL.
2. ALL ANNULAR OPENINGS IN CONCRETE SHALL BE SEALED WITH NON-SHRINK GROUT AND WATERSTOP.
3. LINER SHALL BE FIBERGLASS REINFORCED POLYESTER AND SHALL BE ONE PIECE WITH NO VERTICAL OR HORIZONTAL SEAMS AND SHALL BE PLAN END. THE LINER SHALL BE FABRICATED IN ACCORDANCE WITH NRS PS 15-59 AND SHALL CONSIST OF CONCRETE GRADE POLYESTER RESIN, UV INHIBITOR, CHOP STRAND, WOVEN ROVING AND CONTINUOUS REINFORCEMENT. MINIMUM LINER THICKNESS SHALL BE ONE HALF INCH FOR ALL DIAMETER WELLS AND SHALL NOT HAVE EXTERNAL RISKS. CONCRETE SURFACE OF WETWELL SHALL BE CLEANED AND REFINISHED PER SPECIFICATIONS PRIOR TO PLACEMENT OF LINER. ANNULAR SPACE BETWEEN FIBERGLASS LINER AND CONCRETE STRUCTURE SHALL BE GROUT FILLED WITH NO VOIDS. ANNULAR SPACE BETWEEN STRUCTURE AND FIBERGLASS LINER SHALL BE 1"-3/4" GROUT TO BE PLACED IN TWO LIFTS WITH 24 HOUR SET PERIOD BETWEEN LIFTS. LINER TO BE PLUGGED AND CENTERED.



SUBMERSIBLE PUMP BASE PLATE DETAIL

CITY OF ST. AUGUSTINE
LIFT STATION DETAILS
DUPLEX PUMPING STATION

REVISION DATE:	FEB 2017
NOT TO SCALE	LS-1

30
OF 42

DATE: 02/13/2018

BY: JTB

PROJECT: ST. AUGUSTINE DUPLEX PUMPING STATION

REVISIONS:

NO.	DATE	DESCRIPTION
1	02/13/2018	ISSUED FOR PERMITS
2	02/13/2018	ISSUED FOR PERMITS
3	02/13/2018	ISSUED FOR PERMITS
4	02/13/2018	ISSUED FOR PERMITS

DESIGNED BY: JTB

CHECKED BY: JTB

DATE: 02/13/2018

REGISTERED ENGINEER
0001-11, LITTLE ROCK, P.A.
CIVIL

PROJECT: ST. AUGUSTINE DUPLEX PUMPING STATION

LOCATION: ST. AUGUSTINE, FLORIDA 32084

PHONE: 904.824.1334

FAX: 904.824.6447

EMAIL: JTB@MATHIEUDESIGN.COM

MATTHEWS DESIGN GROUP, INC.

PO. BOX 31267, WALKER STREET
ST. AUGUSTINE, FLORIDA 32084

PHONE: 904.824.1334










FAX: 904.824.6447

WWW.MATHIEUDESIGN.COM

CITY OF ST. AUGUSTINE LIFT STATION DETAILS

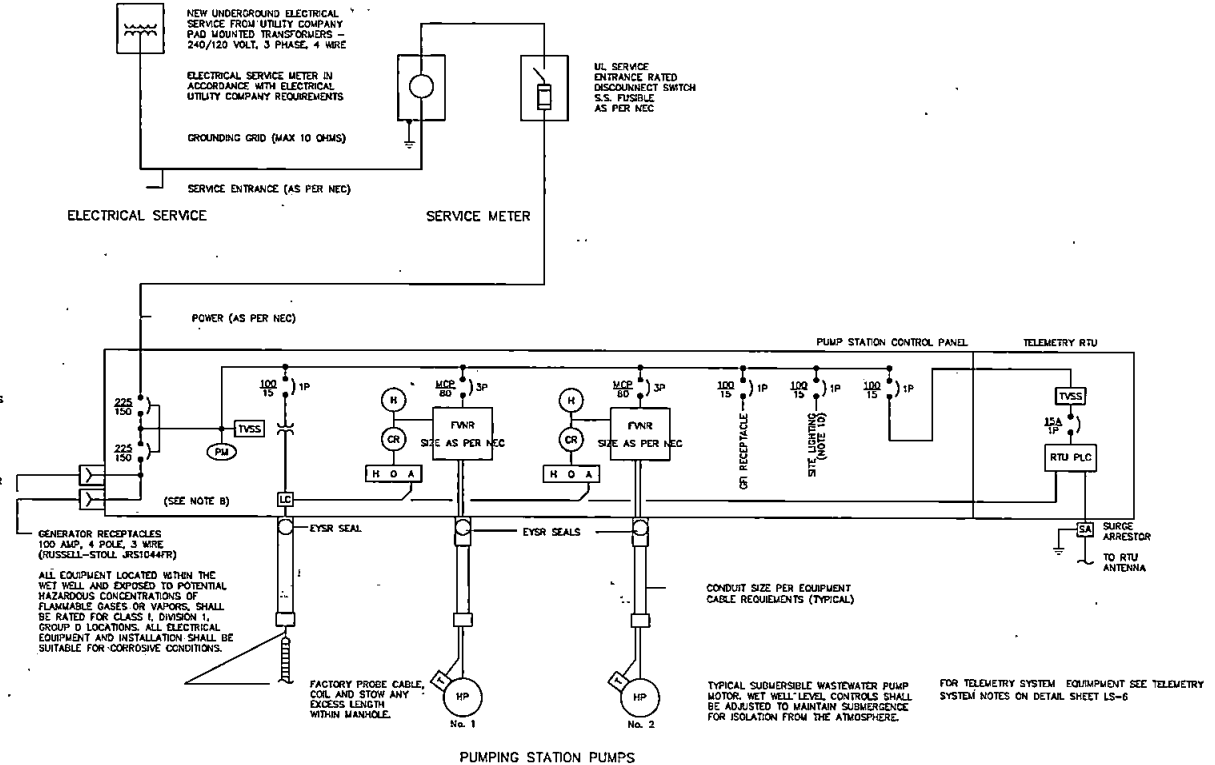
SINGLE LINE DIAGRAM

ELECTRICAL LEGEND

-  CIRCUIT BREAKER (FRAME/TRIP RATING - "MCP" MOTOR CIRCUIT PROTECTOR)
-  MAGNETIC TYPE COMBINATION MOTOR STARTER, NEMA SIZE AS INDICATED ("FV" FULL VOLTAGE, "RV" REDUCED VOLTAGE, "NR" NON-REVERSING, "SS" SOLID STATE SOFT START)
-  MOTOR (NUMERAL INDICATES HORSEPOWER)
-  ELAPSED TIME METER (HOURS OF OPERATION)
-  HAND OFF AUTO SELECTOR SWITCH
-  CONTROL RELAY
-  THREE PHASE POWER MONITOR
-  AUTOMATIC ALTERNATOR
-  TRANSIENT VOLTAGE SURGE SUPPRESSOR

NOTES:

1. DESIGN DRAWINGS ARE DIAGRAMMATIC AND INTENDED TO SHOW THE GENERAL REQUIREMENTS. ALL EQUIPMENT AND INSTALLATION SHALL BE IN ACCORDANCE WITH THE CITY OF ST. AUGUSTINE DESIGN STANDARDS AND SPECIFICATIONS.
2. ALL MATERIAL SHALL BE NEW AND SHALL CONFORM WITH THE STANDARDS OF THE UNDERWRITERS LABORATORIES, INC., AMERICAN NATIONAL STANDARDS INSTITUTE, NATIONAL ELECTRICAL MANUFACTURERS' ASSOCIATION, INSULATED POWER CABLE ENGINEERS ASSOCIATION, AND INSTITUTE OF ELECTRICAL AND ELECTRONIC ENGINEERS, IN EVERY CASE WHERE SUCH A STANDARD HAS BEEN ESTABLISHED FOR THE PARTICULAR TYPE OF MATERIALS IN QUESTION.
3. THE INSTALLATIONS SHALL BE IN ACCORDANCE WITH THE REGULATIONS OF THE LATEST EDITIONS OF THE NATIONAL ELECTRICAL CODE, NATIONAL ELECTRICAL SAFETY CODE, APPLICABLE CITY, STATE, AND LOCAL CODES AND REGULATIONS AND OTHER APPLICABLE CODES, INCLUDING UTILITY COMPANY CODES.
4. ALL PERMITS REQUIRED BY STATE OR LOCAL ORDINANCES SHALL BE OBTAINED AND AFTER COMPLETION OF THE WORK, A CERTIFICATE OF FINAL INSPECTION AND APPROVAL FROM THE ELECTRICAL INSPECTOR SHALL BE FURNISHED TO THE OWNER. ALL PERMITS FOR INSTALLATION, INSPECTIONS, CONNECTIONS, ETC., SHALL BE TAKEN OUT AND PAID FOR AS PART OF THE WORK UNDER THIS SECTION.
5. ALL MATERIALS AND WORKMANSHIP SHALL BE GUARANTEED TO BE FREE FROM DEFECTS. ANY PART OF THE SYSTEM CONSIDERED DEFECTIVE BY THE ENGINEER WITHIN THE GUARANTEE PERIOD SHALL BE IMMEDIATELY REPLACED OR CORRECTED TO THE ENGINEER'S SATISFACTION WITHOUT FURTHER EXPENSE TO THE OWNER.
6. THE PROJECTS GROUNDING SYSTEM SHALL CONSIST OF A GROUNDING ELECTRODE SYSTEM IN ACCORDANCE WITH NEC SPECIFICATIONS, BONDED TO A MAIN GROUND BUS. INTERCONNECTING ALL POWER DISTRIBUTION EQUIPMENT. GROUND ROD SECTIONS SHALL BE COUPLED AND DRIVEN TO ESTABLISH A MAXIMUM RESISTANCE TO GROUND OF 10 OHMS THROUGHOUT THE GROUNDING SYSTEM.
7. UNLESS OTHERWISE INDICATED, ELECTRICAL EQUIPMENT ENCLOSURES SHALL BE NEMA 4X STAINLESS STEEL. CONDUCTORS SHALL BE STRANDED AWG TYPE THIN COPPER. UNDERGROUND CONDUIT SHALL BE PER CODE NEC. EXPOSED CONDUIT SHALL BE RIGID ALUMINUM, INCLUDING LOCATIONS BETWEEN CONTROL PANELS AND EXPLOSION PROOF SEALS SUPPORT CHANNEL AND MOUNTING STRUT SHALL BE MINIMUM 1.5" x 1.5" 316 S.S.
8. THE PUMP STATION CONTROL PANEL WET WELL LEVEL CONTROL SYSTEM SHALL INCLUDE DUPLEX PUMP CONTROLS AND INTRINSICALLY SAFE SUBMERSIBLE WET WELL LEVEL SENSING PROBE FOR AUTOMATIC LEAD/LAG PUMP CONTROL AND ALTERNATION.
9. DUCT SEAL IS REQUIRED AT ALL CONDUIT CONNECTIONS IN AND OUT OF THE EQUIPMENT CABLE TERMINAL BOXES. ADDITIONALLY, DUCT SEAL IS REQUIRED AT THE CONDUIT ENTRANCES INTO THE PUMP CONTROL PANEL. DUCT SEAL SHALL BE OUTDOOR SERVICE SUJCON RTV.
10. PROVIDE SITE LIGHT AND POLE TO MATCH THE STREET LIGHTS. PROVIDE POWER TO THE SITE LIGHT FROM THE PUMP CONTROL PANEL (3/12, 3/4"). PROVIDE WP LIGHT SWITCH MOUNTED ON THE LIGHT POLE.
11. FOR COORDINATION WITH LATEST CITY OF ST. AUGUSTINE PUMP STATION CONTROL PANEL STANDARDS AND REQUIREMENTS, CONTACT THE CITY OF ST. AUGUSTINE PUBLIC WORKS DEPARTMENT 904-825-1040.
12. FOR COORDINATION WITH LATEST CITY OF ST. AUGUSTINE TELEMETRY SYSTEM RTU STANDARDS AND REQUIREMENTS, CONTACT THE CITY OF ST. AUGUSTINE PUMP MAINTENANCE DEPARTMENT 904-825-1042.



NOTE:
THE CITY OF ST. AUGUSTINE IS NOT RESPONSIBLE FOR THE ACCURACY AND CONTENTS OF THIS DRAWING. IT IS THE RESPONSIBILITY OF THE USER TO USE THE SERVICE OF A PROFESSIONAL ELECTRICAL / I&C ENGINEER TO DESIGN THE ELECTRICAL / I&C SYSTEMS FOR A SPECIFIC PROJECT

CITY OF ST. AUGUSTINE LIFT STATION DETAILS SINGLE LINE DIAGRAM	REVISION DATE: FEB 2017 NO. TO SCALE: LS-4	 REGISTERED ENGINEER CHUCK WATTS, P.E. LICENSE NO. 11152
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MATTHEWS DESIGN GROUP, INC.

P.O. BOX 3124, 7 WALDO STREET
 ST. AUGUSTINE, FLORIDA 32084
 PHONE: 904.826.1314
 FAX: 904.826.4547
 INFO@MATTHEWSDSGROUP.COM

COSA LIFT STATION DETAILS

ALPHA-OMEGA HOUSE
 ST. JOHNS COUNTY
 4000 W. BRIDGE HOUSE, INC.
 PALM BEACH, FLORIDA

CITY OF ST. AUGUSTINE LIFT STATION DETAILS TYPICAL ELECTRICAL EQUIPMENT INSTALLATION DETAIL

PUMP STATION CONTROL PANEL WITH NEMA 4X SS ENCLOSURE AND DEAD FRONT INNER DOOR. SUPPORT THE CONTROL PANEL FROM THE SUPPORT PIPES, NOT THE SUPPORT CHANNEL. TELEMETRY SYSTEM RTU

UL SERVICE ENTRANCE DISCONNECT SWITCH, NEMA 4X SS ENCL.
ALUMINUM SERVICE METER PER FPL REQUIREMENTS

RTU ANTENNA AND MAST TYPE TO BE SPECIFIED AND FURNISHED BY TELEMETRY SYSTEM SUPPLIER. ALUMINUM MAST HEIGHT TO BE MINIMUM 20'.

MIN. 10' x 3' DIA. ALUMINUM SUPPORT PIPES WITH PIPE CAPS AT 6" ABOVE TOP OF THE PUMP CONTROL PANEL. PROVIDE WASTIC SEAL COATING ON ALL SURFACES BELOW GRADE OR EMBEDDED IN CONCRETE. SPACING SHALL BE AS REQUIRED TO SUPPORT THE PUMP STATION CONTROL PANEL DIRECTLY FROM THE SUPPORT POSTS.

WARNING LIGHT

PUMP STATION CONTROL PANEL WITH NEMA 4X SS ENCLOSURE AND DEAD FRONT INNER DOOR. SUPPORT THE CONTROL PANEL FROM THE SUPPORT PIPES, NOT THE SUPPORT CHANNEL.

RIGID ALUMINUM CONDUIT SEGMENTS WITH EYSR SEALS

EQUIPMENT CABLE

316 SS SUPPORT BRACKET
RIGID ALUMINUM CONDUIT TO BE PVC COATED (ALL CONDUIT TO BE 2" OR LARGER SIZE PER EQUIPMENT/CABLE REQUIREMENTS)

6" MIN.

RIGID ALUMINUM CONDUIT

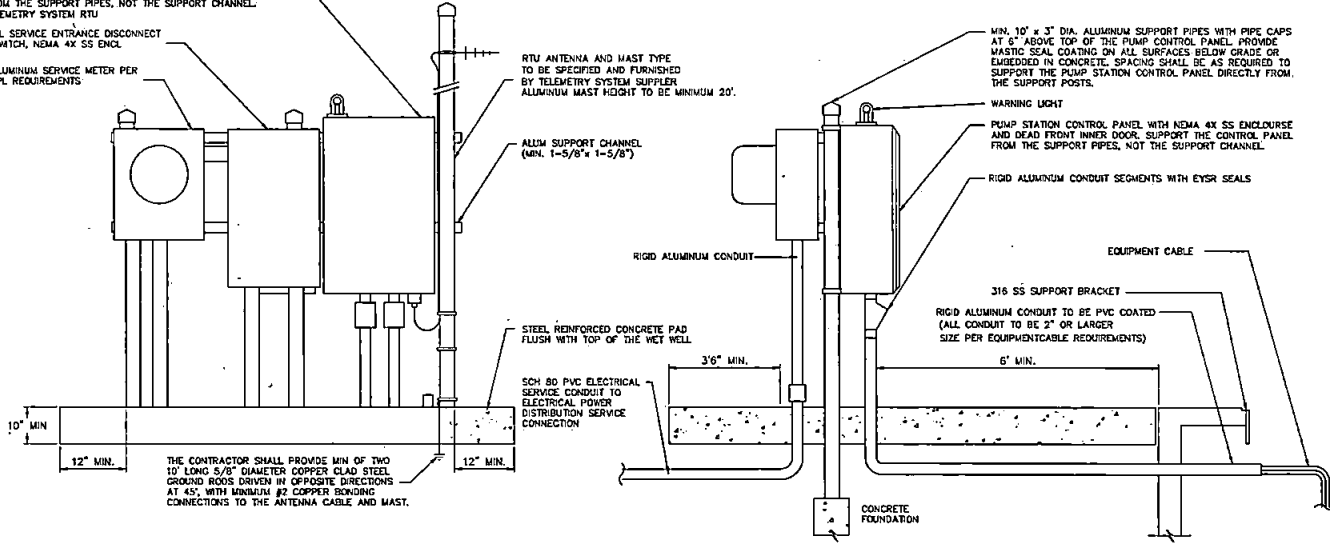
ALUM. SUPPORT CHANNEL (MIN. 1-5/8" x 1-5/8")

STEEL REINFORCED CONCRETE PAD FLUSH WITH TOP OF THE WET WELL

SCH. 80 PVC ELECTRICAL SERVICE CONDUIT TO ELECTRICAL POWER DISTRIBUTION SERVICE CONNECTION

3/6" MIN.

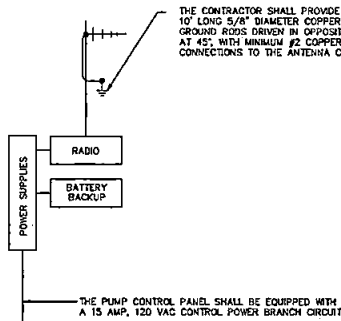
CONCRETE FOUNDATION



TYPICAL PUMP STATION ELECTRICAL EQUIPMENT INSTALLATION DETAIL
NOT TO SCALE

TELEMETRY SYSTEM NOTES:

1. PROVIDE NEW TELEMETRY SYSTEM REMOTE TERMINAL UNIT (RTU) FOR REMOTE MONITORING AND CONTROL OF ALL PUMPING STATION EQUIPMENT.
 - A. THE EXISTING CITY OF ST. AUGUSTINE PUMP STATION TELEMETRY SYSTEM SHALL BE EXPANDED BY THE TELEMETRY SYSTEM SUPPLIER WHO SHALL PROVIDE ALL THE EQUIPMENT AND APPURTENANCES AND SHALL BE RESPONSIBLE FOR THE SATISFACTORY OPERATION OF THE ENTIRE SYSTEM.
 - B. THE ADDITIONS AND MODIFICATIONS TO THE EXISTING TELEMETRY SYSTEM SHALL INCLUDE RADIO COMMUNICATIONS SYSTEM, PLC INTERFACE, AND SOFTWARE CONFIGURATION AS INDICATED OR REQUIRED FOR COMPLETE SYSTEM OPERATION.
 - C. THE TELEMETRY SYSTEM SUPPLIER SHALL BE: CONTROL SYSTEMS AUTOMATION, ELKTON, FL, ATTN: ROBERT SPITZ, 904-699-7685
 - D. TELEMETRY SHALL BE FULLY FUNCTIONAL PRIOR TO CITY ACCEPTANCE.
2. THE PUMP CONTROLLER SHALL BE AN ALLEN-BRADLEY MICROLOGIX 1400 SERIES ANALOG PLC BASED UNIT MOUNTED WITHIN THE PUMP STATION CONTROL PANEL. SEE LIFT STATION CONTROL PANEL DETAIL LS-3.
3. ANTENNA MAST AS INDICATED SHALL BE PROVIDED BY THE TELEMETRY SYSTEM PROVIDER. ANTENNA, ANTENNA CABLE AND SURGE PROTECTION SHALL BE PROVIDED BY THE TELEMETRY SYSTEM SUPPLIER. THE ANTENNA SHALL BE AIMED BY THE TELEMETRY SYSTEM SUPPLIER DURING STARTUP AND TESTING.
4. THE TELEMETRY SYSTEM SUPPLIER SHALL BE RESPONSIBLE FOR OBTAINING FOR THE OWNER ALL REQUIRED FCC LICENSING REVISIONS, ETC. NECESSARY FOR THE OPERATION OF THE RADIO COMMUNICATIONS SYSTEM.
5. A FACTORY-TRAINED QUALIFIED SERVICE REPRESENTATIVE OF THE TELEMETRY SYSTEM SUPPLIER SHALL PROVIDE ALL SYSTEM INTEGRATION, INITIALIZATION, CUSTOMIZATION, STARTUP, AND TRAINING TO PROVIDE A COMPLETE AND OPERATING SYSTEM.



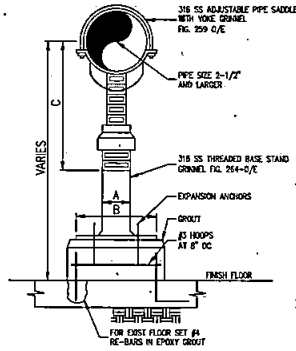
TYPICAL TELEMETRY SYSTEM RTU SCHEMATIC DIAGRAM
SEE PUMP CONTROL PANEL DETAIL LS-3
NOT TO SCALE

ALL FITTINGS AND COMPONENTS TO MEET CURRENT NEC REQUIREMENTS

NOTE:
THE CITY OF ST. AUGUSTINE IS NOT RESPONSIBLE FOR THE ACCURACY AND CONTENTS OF THIS DRAWING. IT IS THE RESPONSIBILITY OF THE USER TO USE THE SERVICE OF A PROFESSIONAL ELECTRICAL / IAC ENGINEER TO DESIGN THE ELECTRICAL / IAC SYSTEMS FOR A SPECIFIC PROJECT

ALPHA-OMEGA HOUSE ST. JOHNS COUNTY JACKSONVILLE, FLORIDA																															
CONTACT: MARGARET HOUSE, INC. ALPHASOURCE@GMAIL.COM																															
MATTHEWS DESIGN GROUP, INC. P.O. BOX 3124, 7 WALDO STREET ST. AUGUSTINE, FLORIDA 32084 PHONE: 904.824.1314 FAX: 904.824.4544 INT: 904.824.1120	REVISIONS <table border="1" style="width: 100%; border-collapse: collapse;"> <tr> <th>NO.</th> <th>DATE</th> <th>DESCRIPTION</th> </tr> <tr> <td>1</td> <td>07-11-2016</td> <td>ISSUED FOR PERMITS</td> </tr> <tr> <td>2</td> <td>07-11-2016</td> <td>ISSUED FOR PERMITS</td> </tr> <tr> <td>3</td> <td>07-11-2016</td> <td>ISSUED FOR PERMITS</td> </tr> <tr> <td>4</td> <td>07-11-2016</td> <td>ISSUED FOR PERMITS</td> </tr> <tr> <td>5</td> <td>07-11-2016</td> <td>ISSUED FOR PERMITS</td> </tr> <tr> <td>6</td> <td>07-11-2016</td> <td>ISSUED FOR PERMITS</td> </tr> <tr> <td>7</td> <td>07-11-2016</td> <td>ISSUED FOR PERMITS</td> </tr> <tr> <td>8</td> <td>07-11-2016</td> <td>ISSUED FOR PERMITS</td> </tr> <tr> <td>9</td> <td>07-11-2016</td> <td>ISSUED FOR PERMITS</td> </tr> </table>	NO.	DATE	DESCRIPTION	1	07-11-2016	ISSUED FOR PERMITS	2	07-11-2016	ISSUED FOR PERMITS	3	07-11-2016	ISSUED FOR PERMITS	4	07-11-2016	ISSUED FOR PERMITS	5	07-11-2016	ISSUED FOR PERMITS	6	07-11-2016	ISSUED FOR PERMITS	7	07-11-2016	ISSUED FOR PERMITS	8	07-11-2016	ISSUED FOR PERMITS	9	07-11-2016	ISSUED FOR PERMITS
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9	07-11-2016	ISSUED FOR PERMITS																													
CITY OF ST. AUGUSTINE LIFT STATION DETAILS ELECTRICAL EQUIPMENT	REVISION DATE: FEB 2017 NO. TO SCALE: LS-5																														
33 OF 42																															

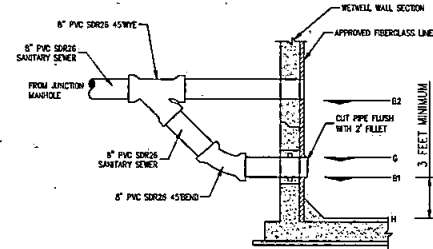
CITY OF ST. AUGUSTINE LIFT STATION DETAILS - SUPPLEMENTARY DETAILS



- NOTES:** STANCHION PIPE SUPPORT
1. PROVIDE HALF ROUND ROSS INSULATION AND ISOLATION SHEED, SIMILAR TO GRENELL FIG. 167 OR ELENX FIG. 219 WHEN PIPING IS INSULATED.
 2. PROVIDE MEDIUM WATTLE ISOLATION PAD SIMILAR TO MASHIN TYPE "M" OR HIGBOND 808949-42 UNDER SUPPORT FOOT WHEN PIPING IS INSULATED OR SUPPORT IS ADJACENT TO MECHANICAL EQUIPMENT.
 3. FOR BASE, HEIGHT, AND FLANGE DIMENSIONS, SEE TABLE.
 4. ALL DIMENSIONS IN TABLE ARE IN INCHES.

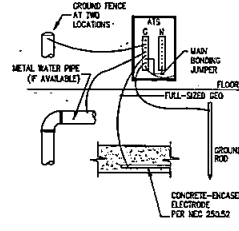
PIPE SIZE	A	B	C	MAX
2-1/2"	2-1/2"	9"	8-3/4"	13-1/4"
3"	3-1/2"	9"	8-1/2"	13-1/2"
3-1/2"	3-1/2"	9"	8-1/2"	13-1/2"
4"	4"	9"	8"	14"
6"	6"	9"	10"	14-3/4"
8"	8"	9"	10-1/2"	15-1/2"

PIPE SUPPORT
NOT TO SCALE



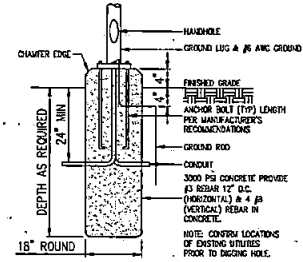
GRAVITY DROP CONNECTION DETAIL
NOT TO SCALE

NOTE: IF DIMENSION BETWEEN B2 & B1 IS 2 FEET OR LESS, GRAVITY DROP CONNECTION IS NOT REQUIRED.

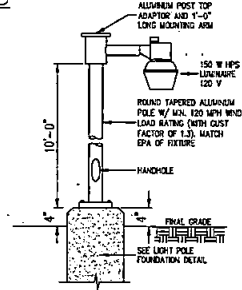


NOTE: BOND & GROUND ELECTRICAL SYSTEM PER NEC SECTION 250 AND ALL LOCAL CODES AND STATUTES. TEST GROUND (5000 TO ENSURE A MARGIN RESISTANCE TO GROUND OF 10 OHMS. ADD ADDITIONAL GROUND RODS AS NECESSARY TO MEET THIS REQUIREMENT. CONTRACTOR TO SUBMIT GROUND TEST RESULTS TO THE CITY.

GENERAL GROUNDING DETAIL
NOT TO SCALE

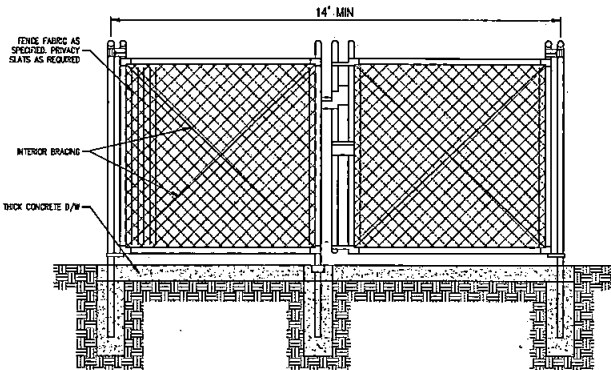


LIGHT POLE FOUNDATION
NOT TO SCALE

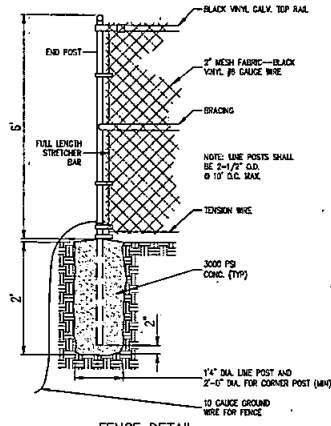


LIGHT POLE DETAIL
NOT TO SCALE

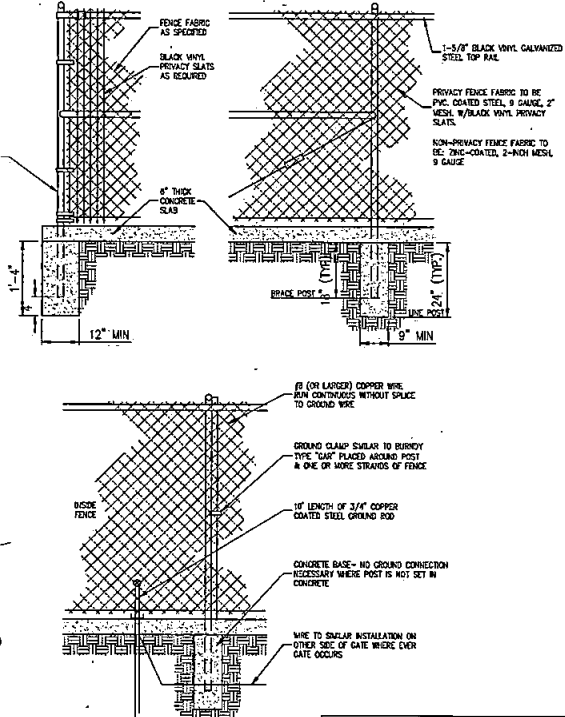
1. LINEPIPE SHALL BE AS MANUFACTURED BY GAYNEITE OR APPROVED EQUAL (CAT No. VPP-150-S-XX-FE-12L-F)



DOUBLE GATE DETAILS
NOT TO SCALE



FENCE DETAIL
NOT TO SCALE



FENCE DETAILS
NOT TO SCALE

CITY OF ST. AUGUSTINE
LIFT STATION DETAILS
SUPPLEMENTARY DETAILS

REVISION DATE: FEB 2017
NOT TO SCALE: LS-8

NO.	DATE	REVISION	BY	CHKD	APP'D
1	07-11-2018	ISSUED FOR PERMITS	LS	LS	LS
2	07-11-2018	REVISED PER SAC, COSA AND WARE COMMENTS	LS	LS	LS
3	07-11-2018	REVISED PER SAC, COSA AND WARE COMMENTS	LS	LS	LS
4	07-11-2018	REVISED PER SAC, COSA AND WARE COMMENTS	LS	LS	LS

REGISTERED DESIGNER
CORELL MATHIAS, P.E.
00282-0001

REVISIONS

DATE: 07-11-2018
BY: LS
CHKD: LS
APP'D: LS

CLB

CLB

07-11-2018

11152

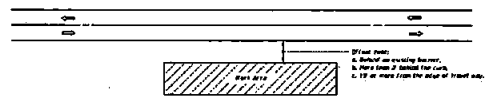
MATTHEWS DESIGN GROUP, INC.
P.O. BOX 3126, 7 WALDO STREET
ST. AUGUSTINE, FLORIDA 32084
PHONE: 904.824.1314
FAX: 904.824.1314
INFO@MATHIEVSDESIGN.NET

COSA LIFT STATION DETAILS
ALPHA-OMEGA HOUSE
ST. JURIN COUNTY
ALPHA-OMEGA INMABLE HOME, INC.

CITY OF ST. AUGUSTINE
LIFT STATION DETAILS
SUPPLEMENTARY DETAILS

REVISION DATE: FEB 2017
NOT TO SCALE: LS-8

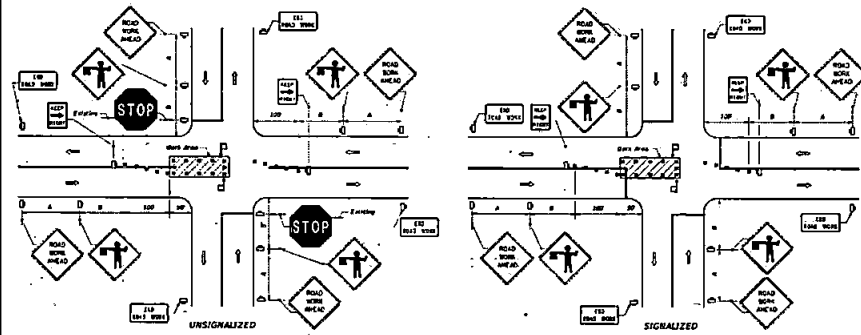
34
OF 42



- GENERAL NOTES**
- In the most operation (working) and/or trucking the work area, signs and cones or more work vehicles across the work area in any one direction. Traffic control shall be continuous with signs 102-601.
 - No work area signs to be used.
 - When a road work activity for beyond within the work area, additional TFC devices shall be placed in accordance with other applicable TFC signs.
 - When construction activities overlap on a roadway, refer to Index 102-600.
 - For general TFC requirements and additional information, refer to Index 102-600.

- SYMBOLS**
- Work Area
 - Changeable Message Sign (CMS) 102-600
 - Work Zone Sign
 - Flagger
 - Stop Bar
 - Line Indication or Direction of Traffic

- CONDITIONS**
- WHERE ANY VEHICLE, EQUIPMENT, WORKERS OR TRAFFIC PARTICIPATE ON THESE ACTIVITIES PARTICIPATE ON THE ROADWAY REQUIRES THE CLOSURE OF ONE TRAFFIC LANE FOR WORK AND/OR FOR ONE OR MORE LANE FOR A PERIOD OF SOME TIME AS INDICATED.



- SYMBOLS**
- Work Area
 - Changeable Message Sign (CMS) 102-600
 - Work Zone Sign
 - Flagger
 - Stop Bar
 - Line Indication or Direction of Traffic

- GENERAL NOTES**
- The FLASHER signs may be substituted for the symbol sign.
 - When located in a passing zone, the base of sign 102-601 shall be placed on the road shoulder and located in accordance with Index 102-601.
 - If the work area extends across or through the roadway, the equipment shall be placed along the shoulder as shown 102-600.
 - Flaggers shall be used when they can control more than one approach of traffic.
 - Flaggers shall be in sight of each other or in direct communication at all times.
 - Maximum spacing between flaggers shall not be greater than 200'
 - Temporary signal lighting applications are to be approved by the District Traffic Operations Engineer prior to the beginning of work.
 - For general TFC requirements and additional information, refer to Index 102-600.

- DURATION NOTES**
- ROAD WORK AHEAD AND STOP signs may not be used if all of the following conditions are met:
 - Work operations are 60 minutes or less.
 - Signs are 42 inch by 30 inch.
 - The work operations are within the passing zone.
 - A minimum of one sign is placed in each direction of travel.
 - Flashing, reflecting, or reflective light mounting.
 - Volume and consistency of the roadway has been considered.

DISTANCE BETWEEN SIGNS

Speed	A	B	C
45 mph	300'	200'	150'
55 mph	350'	250'	200'
65 mph	400'	300'	250'

- CONDITIONS**
- WHERE ANY VEHICLE, EQUIPMENT, WORKERS OR TRAFFIC PARTICIPATE ON THESE ACTIVITIES PARTICIPATE ON THE ROADWAY REQUIRES THE CLOSURE OF ONE TRAFFIC LANE FOR WORK AND/OR FOR ONE OR MORE LANE FOR A PERIOD OF SOME TIME AS INDICATED.

DATE REVISION	DESCRIPTION	DATE REVISION	DESCRIPTION
11/01/17		11/01/17	

FY 2018-19 STANDARD PLANS | **TWO-LANE, TWO-WAY, WORK OUTSIDE SHOULDER** | INDEX 102-601 | SHEET 1 of 1

Table II
Taper Length - Shoulder

Speed	15'	30'	45'	60'
20	20	20	20	20
25	25	25	25	25
30	30	30	30	30
35	35	35	35	35
40	40	40	40	40
45	45	45	45	45
50	50	50	50	50
55	55	55	55	55
60	60	60	60	60
65	65	65	65	65
70	70	70	70	70

Table I
Device Spacing

Speed	Spacing (ft)
45 mph or less	300'
55 mph	350'
65 mph or greater	400'

GENERAL NOTES

- When there are more work vehicles across the work area in a one hour period or less (including construction and trucking) the work area shall be closed for the work area sign. For location of flaggers and TFC signs, see Index 102-601.
- SHOULDER WORK signs may be used in addition to the 102-601 sign when the work area is located on the shoulder.
- When a work road operation extends across the TFC work area, additional TFC devices shall be placed in accordance with other applicable TFC signs.
- For general TFC requirements and additional information, refer to Index 102-600.

CONDITIONS

WHERE ANY VEHICLE, EQUIPMENT, WORKERS OR TRAFFIC PARTICIPATE ON THESE ACTIVITIES PARTICIPATE ON THE ROADWAY REQUIRES THE CLOSURE OF ONE TRAFFIC LANE FOR WORK AND/OR FOR ONE OR MORE LANE FOR A PERIOD OF SOME TIME AS INDICATED.

FY 2018-19 STANDARD PLANS | **TWO-LANE, TWO-WAY, WORK ON SHOULDER** | INDEX 102-602 | SHEET 1 of 1

FY 2018-19 STANDARD PLANS | **TWO-LANE, TWO-WAY, WORK IN INTERSECTION** | INDEX 102-604 | SHEET 1 of 1

GENERAL NOTES

- When necessary, signs shall be placed to give advance notice of the upcoming work zone.
- The FLASHER signs may be substituted for the symbol sign.
- When located in a passing zone, the base of sign 102-601 shall be placed on the road shoulder and located in accordance with Index 102-601.
- If the work area extends across or through the roadway, the equipment shall be placed along the shoulder as shown 102-600.
- Flaggers shall be used when they can control more than one approach of traffic.
- Flaggers shall be in sight of each other or in direct communication at all times.
- Maximum spacing between flaggers shall not be greater than 200'
- Temporary signal lighting applications are to be approved by the District Traffic Operations Engineer prior to the beginning of work.
- For general TFC requirements and additional information, refer to Index 102-600.

DURATION NOTES

- ROAD WORK AHEAD AND STOP signs may not be used if all of the following conditions are met:
 - Work operations are 60 minutes or less.
 - Signs are 42 inch by 30 inch.
 - The work operations are within the passing zone.
 - A minimum of one sign is placed in each direction of travel.
 - Flashing, reflecting, or reflective light mounting.
 - Volume and consistency of the roadway has been considered.

CONDITIONS

WHERE ANY VEHICLE, EQUIPMENT, WORKERS OR TRAFFIC PARTICIPATE ON THESE ACTIVITIES PARTICIPATE ON THE ROADWAY REQUIRES THE CLOSURE OF ONE TRAFFIC LANE FOR WORK AND/OR FOR ONE OR MORE LANE FOR A PERIOD OF SOME TIME AS INDICATED.

FY 2018-19 STANDARD PLANS | **TWO-LANE, TWO-WAY, WORK NEAR INTERSECTION** | INDEX 102-605 | SHEET 1 of 1

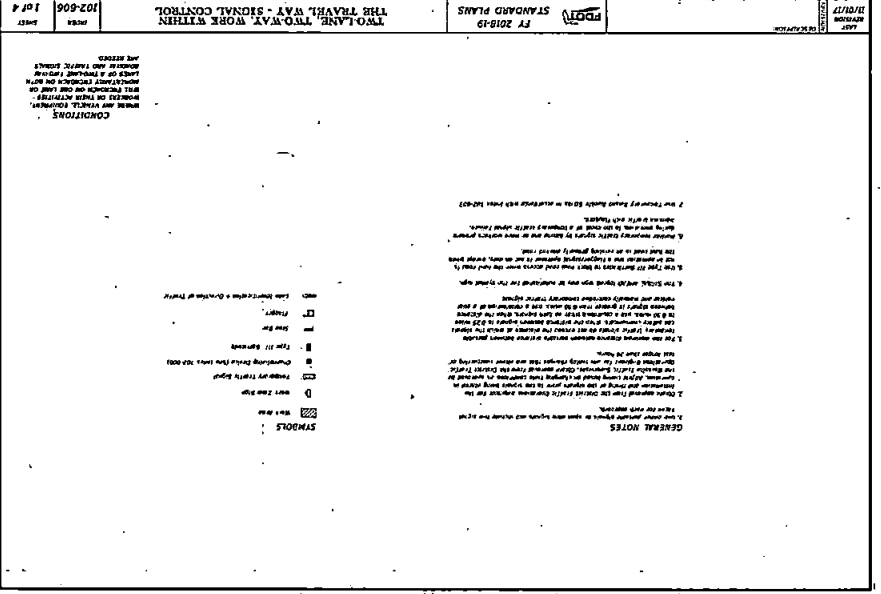
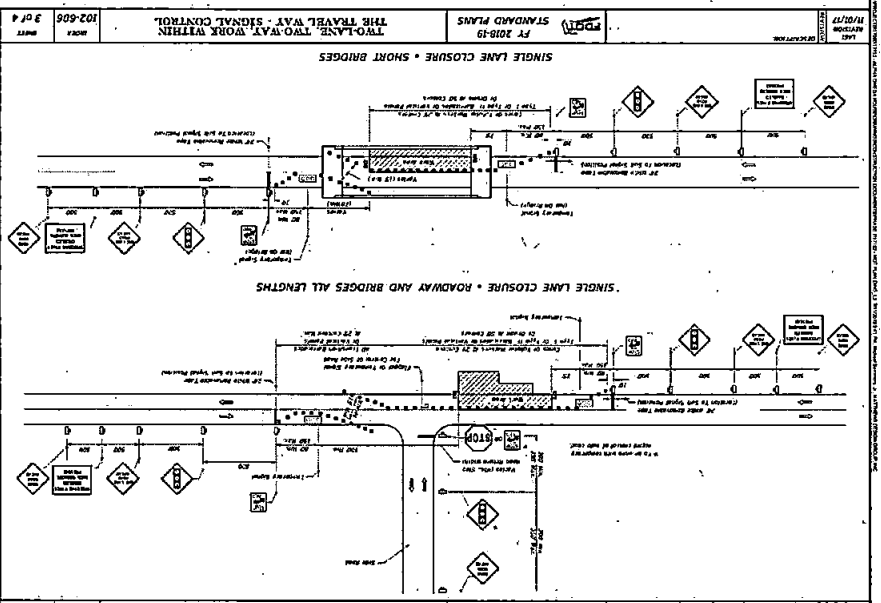
REVISIONS

NO.	DATE	DESCRIPTION
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2	07/11/2018	ISSUED PER CDM AND COMMENTS
3	07/11/2018	ISSUED PER CDM AND COMMENTS
4	07/11/2018	ISSUED PER CDM AND COMMENTS
5	07/11/2018	ISSUED PER CDM AND COMMENTS

MAINTENANCE OF TRAFFIC PLAN
ALPHA-Omega HOUSE
ST. JOHNS COUNTY
PREPARED BY
ALPHA-Omega SURVEILLANCE HOUSE, INC.

MATTHEWS DESIGN GROUP, INC.
P.O. BOX 3126, WALDO STREET
ST. AUGUSTINE, FLORIDA 32084
PHONE: 904.824.1334
FAX: 904.824.6447
INFO@MATTHEWSDESIGN.COM

DATE: 07/11/2018
DRAWN BY: J. B. WATKINS
CHECKED BY: J. B. WATKINS
SCALE: AS SHOWN
SHEET NO.: 36 OF 42



GENERAL NOTES

1. The work shall be performed in accordance with the plans and specifications.
2. The work shall be performed in accordance with the plans and specifications.
3. The work shall be performed in accordance with the plans and specifications.
4. The work shall be performed in accordance with the plans and specifications.
5. The work shall be performed in accordance with the plans and specifications.
6. The work shall be performed in accordance with the plans and specifications.
7. The work shall be performed in accordance with the plans and specifications.
8. The work shall be performed in accordance with the plans and specifications.
9. The work shall be performed in accordance with the plans and specifications.
10. The work shall be performed in accordance with the plans and specifications.

SYMBOLS

- 100' Work Zone
- 200' Work Zone
- 300' Work Zone
- 400' Work Zone
- 500' Work Zone
- 600' Work Zone
- 700' Work Zone
- 800' Work Zone
- 900' Work Zone
- 1000' Work Zone

CONDITIONS

1. The work shall be performed in accordance with the plans and specifications.

2. The work shall be performed in accordance with the plans and specifications.

3. The work shall be performed in accordance with the plans and specifications.

4. The work shall be performed in accordance with the plans and specifications.

5. The work shall be performed in accordance with the plans and specifications.

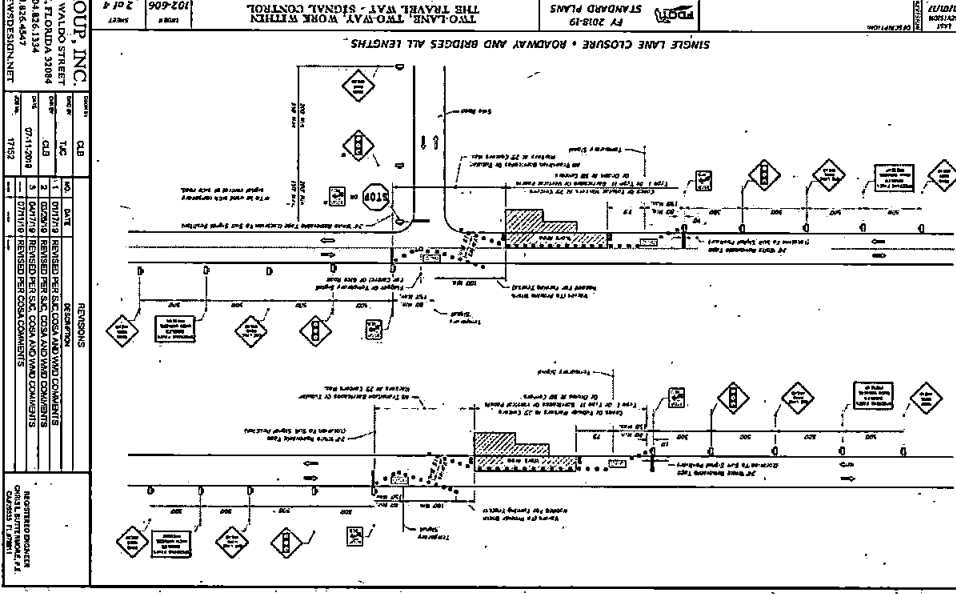
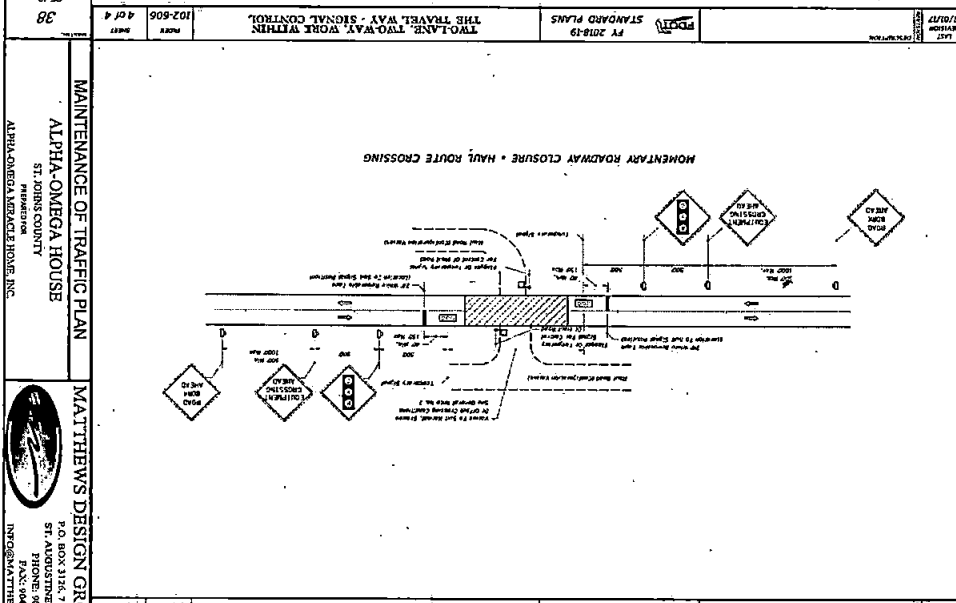
6. The work shall be performed in accordance with the plans and specifications.

7. The work shall be performed in accordance with the plans and specifications.

8. The work shall be performed in accordance with the plans and specifications.

9. The work shall be performed in accordance with the plans and specifications.

10. The work shall be performed in accordance with the plans and specifications.



STANDARD PLANS
 FY 2018-19
 TWO-LANE, TWO-WAY WORK WITHIN THE TRAVEL WAY - SIGNAL CONTROL

STANDARD PLANS
 FY 2018-19
 MOMENTARY ROADWAY CLOSURE - HAUL ROUTE CROSSING

STANDARD PLANS
 FY 2018-19
 SINGLE LANE CLOSURE - ROADWAY AND BRIDGES ALL LENGTHS

STANDARD PLANS
 FY 2018-19
 TWO-LANE, TWO-WAY WORK WITHIN THE TRAVEL WAY - SIGNAL CONTROL

STANDARD PLANS
 FY 2018-19
 SINGLE LANE CLOSURE - ROADWAY AND BRIDGES ALL LENGTHS

REVISIONS

NO.	DATE	DESCRIPTION
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2	07/11/2018	ISSUED FOR PERMITTING
3	07/11/2018	ISSUED FOR PERMITTING
4	07/11/2018	ISSUED FOR PERMITTING
5	07/11/2018	ISSUED FOR PERMITTING
6	07/11/2018	ISSUED FOR PERMITTING
7	07/11/2018	ISSUED FOR PERMITTING
8	07/11/2018	ISSUED FOR PERMITTING
9	07/11/2018	ISSUED FOR PERMITTING
10	07/11/2018	ISSUED FOR PERMITTING

MAINTENANCE OF TRAFFIC PLAN

ALPHA-OMEGA HOUSE
 ST. JOHNS COUNTY
 FLEMINGHAM
 ALPHACOUNTYWORKS@GMAIL.COM

MATTHEWS DESIGN GROUP, INC.
 P.O. BOX 3156, 7 WYVA LANE STREET
 ST. AUGUSTINE, FLORIDA 32084
 PHONE: 904.826.1344
 FAX: 904.826.4547
 INFO@MATTHEWSDESIGN.COM

PROJECT NO. 17152

DATE 07/11/2018

SCALE AS SHOWN

PROJECT LOCATION CHASSAULT ROAD AT

HAZARDOUS PRODUCTS:

THESE PRODUCTS ARE TO BE STORED IN LEAK-PROOF TANKERS OR OTHER APPROVED CONTAINERS. PRODUCTS WILL BE KEPT IN ORIGINAL CONTAINERS UNLESS THEY ARE NOT RECOMMENDED. PRODUCTS WILL BE KEPT IN ORIGINAL CONTAINERS UNLESS THEY ARE NOT RECOMMENDED. PRODUCTS WILL BE KEPT IN ORIGINAL CONTAINERS UNLESS THEY ARE NOT RECOMMENDED.

PRODUCT SPECIFIC PRACTICES:

THE FOLLOWING PRODUCT SPECIFIC PRACTICES WILL BE FOLLOWED:

PETROLEUM PRODUCTS:

ALL OILS AND GREASES WILL BE STORED IN LEAK-PROOF TANKERS OR OTHER APPROVED CONTAINERS. PRODUCTS WILL BE KEPT IN ORIGINAL CONTAINERS UNLESS THEY ARE NOT RECOMMENDED.

FERTILIZERS:

FERTILIZERS SHALL BE STORED IN LEAK-PROOF TANKERS OR OTHER APPROVED CONTAINERS. PRODUCTS WILL BE KEPT IN ORIGINAL CONTAINERS UNLESS THEY ARE NOT RECOMMENDED.

PAINERS:

ALL PAINTS AND PAINTS SHALL BE STORED IN LEAK-PROOF TANKERS OR OTHER APPROVED CONTAINERS. PRODUCTS WILL BE KEPT IN ORIGINAL CONTAINERS UNLESS THEY ARE NOT RECOMMENDED.

CONCRETE PRODUCTS:

CONCRETE PRODUCTS SHALL BE STORED IN LEAK-PROOF TANKERS OR OTHER APPROVED CONTAINERS. PRODUCTS WILL BE KEPT IN ORIGINAL CONTAINERS UNLESS THEY ARE NOT RECOMMENDED.

SOIL CONTROL PRACTICES:

SOIL CONTROL PRACTICES SHALL BE FOLLOWED AS DESCRIBED IN THE PLAN. SOIL CONTROL PRACTICES SHALL BE FOLLOWED AS DESCRIBED IN THE PLAN.

MANUFACTURER'S RECOMMENDATIONS:

MANUFACTURER'S RECOMMENDATIONS SHALL BE FOLLOWED AS DESCRIBED IN THE PLAN. MANUFACTURER'S RECOMMENDATIONS SHALL BE FOLLOWED AS DESCRIBED IN THE PLAN.

MAINTENANCE / INSPECTION PROCEDURES

MAINTENANCE AND INSPECTION PROCEDURES SHALL BE FOLLOWED AS DESCRIBED IN THE PLAN. MAINTENANCE AND INSPECTION PROCEDURES SHALL BE FOLLOWED AS DESCRIBED IN THE PLAN.

NON-STORABLE WATER DISCHARGES:

NON-STORABLE WATER DISCHARGES SHALL BE FOLLOWED AS DESCRIBED IN THE PLAN. NON-STORABLE WATER DISCHARGES SHALL BE FOLLOWED AS DESCRIBED IN THE PLAN.

GENERAL NOTES

GENERAL NOTES SHALL BE FOLLOWED AS DESCRIBED IN THE PLAN. GENERAL NOTES SHALL BE FOLLOWED AS DESCRIBED IN THE PLAN.

SEQUENCE OF MAJOR ACTIVITIES

THE ORDER OF ACTIVITIES WILL BE AS FOLLOWS:

1. INITIAL STABILIZATION OF SLOPES.
2. INITIAL STABILIZATION OF SLOPES.
3. INITIAL STABILIZATION OF SLOPES.
4. INITIAL STABILIZATION OF SLOPES.
5. INITIAL STABILIZATION OF SLOPES.

TIMING OF CONTROLS / MEASURES

AS INDICATED IN THE SEQUENCE OF MAJOR ACTIVITIES, THE TIMING OF CONTROLS AND MEASURES SHALL BE AS FOLLOWS:

1. INITIAL STABILIZATION OF SLOPES.
2. INITIAL STABILIZATION OF SLOPES.
3. INITIAL STABILIZATION OF SLOPES.
4. INITIAL STABILIZATION OF SLOPES.
5. INITIAL STABILIZATION OF SLOPES.

CONTROLS

IT IS THE CONTRACTOR'S RESPONSIBILITY TO MAINTAIN THE EROSION AND SEDIMENT CONTROL MEASURES AS SHOWN ON THE PLAN. IT IS THE CONTRACTOR'S RESPONSIBILITY TO MAINTAIN THE EROSION AND SEDIMENT CONTROL MEASURES AS SHOWN ON THE PLAN.

STABILIZED CONSTRUCTION ENTRANCE

CONTRACTOR SHALL MAINTAIN AND MONITOR THE OPERATION OF THE CONSTRUCTION ENTRANCE AS SHOWN ON THE PLAN. CONTRACTOR SHALL MAINTAIN AND MONITOR THE OPERATION OF THE CONSTRUCTION ENTRANCE AS SHOWN ON THE PLAN.

EROSION AND SEDIMENT CONTROL STABILIZATION PRACTICES

EROSION AND SEDIMENT CONTROL STABILIZATION PRACTICES SHALL BE FOLLOWED AS DESCRIBED IN THE PLAN. EROSION AND SEDIMENT CONTROL STABILIZATION PRACTICES SHALL BE FOLLOWED AS DESCRIBED IN THE PLAN.

CONCRETE CONTROL PRACTICES

CONCRETE CONTROL PRACTICES SHALL BE FOLLOWED AS DESCRIBED IN THE PLAN. CONCRETE CONTROL PRACTICES SHALL BE FOLLOWED AS DESCRIBED IN THE PLAN.

SOIL CONTROL PRACTICES

SOIL CONTROL PRACTICES SHALL BE FOLLOWED AS DESCRIBED IN THE PLAN. SOIL CONTROL PRACTICES SHALL BE FOLLOWED AS DESCRIBED IN THE PLAN.

MAINTENANCE / INSPECTION PROCEDURES

MAINTENANCE AND INSPECTION PROCEDURES SHALL BE FOLLOWED AS DESCRIBED IN THE PLAN. MAINTENANCE AND INSPECTION PROCEDURES SHALL BE FOLLOWED AS DESCRIBED IN THE PLAN.

NON-STORABLE WATER DISCHARGES

NON-STORABLE WATER DISCHARGES SHALL BE FOLLOWED AS DESCRIBED IN THE PLAN. NON-STORABLE WATER DISCHARGES SHALL BE FOLLOWED AS DESCRIBED IN THE PLAN.

GENERAL NOTES

GENERAL NOTES SHALL BE FOLLOWED AS DESCRIBED IN THE PLAN. GENERAL NOTES SHALL BE FOLLOWED AS DESCRIBED IN THE PLAN.

SEQUENCE OF MAJOR ACTIVITIES

THE ORDER OF ACTIVITIES WILL BE AS FOLLOWS:

1. INITIAL STABILIZATION OF SLOPES.
2. INITIAL STABILIZATION OF SLOPES.
3. INITIAL STABILIZATION OF SLOPES.
4. INITIAL STABILIZATION OF SLOPES.
5. INITIAL STABILIZATION OF SLOPES.

TIMING OF CONTROLS / MEASURES

AS INDICATED IN THE SEQUENCE OF MAJOR ACTIVITIES, THE TIMING OF CONTROLS AND MEASURES SHALL BE AS FOLLOWS:

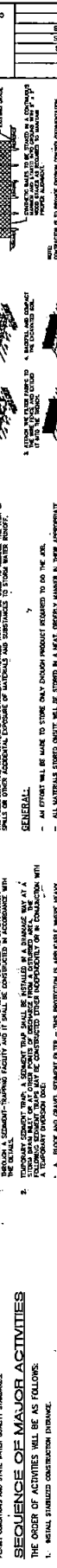
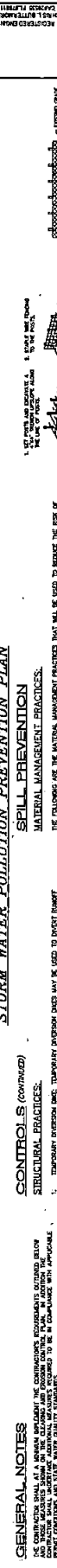
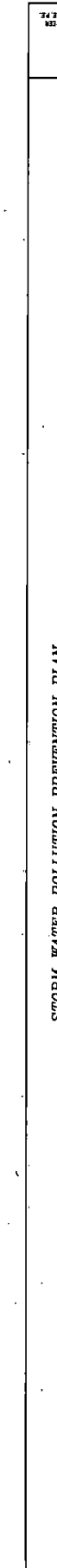
1. INITIAL STABILIZATION OF SLOPES.
2. INITIAL STABILIZATION OF SLOPES.
3. INITIAL STABILIZATION OF SLOPES.
4. INITIAL STABILIZATION OF SLOPES.
5. INITIAL STABILIZATION OF SLOPES.

CONTROLS

IT IS THE CONTRACTOR'S RESPONSIBILITY TO MAINTAIN THE EROSION AND SEDIMENT CONTROL MEASURES AS SHOWN ON THE PLAN. IT IS THE CONTRACTOR'S RESPONSIBILITY TO MAINTAIN THE EROSION AND SEDIMENT CONTROL MEASURES AS SHOWN ON THE PLAN.

STABILIZED CONSTRUCTION ENTRANCE

CONTRACTOR SHALL MAINTAIN AND MONITOR THE OPERATION OF THE CONSTRUCTION ENTRANCE AS SHOWN ON THE PLAN. CONTRACTOR SHALL MAINTAIN AND MONITOR THE OPERATION OF THE CONSTRUCTION ENTRANCE AS SHOWN ON THE PLAN.



NO.	DATE	REVISIONS PER IFC/CAD/MAINT COMMENTS	REVISIONS
1	07/11/2018	REVISED PER IFC/CAD/MAINT COMMENTS	
2	07/11/2018	REVISED PER IFC/CAD/MAINT COMMENTS	
3	07/11/2018	REVISED PER IFC/CAD/MAINT COMMENTS	
4	07/11/2018	REVISED PER IFC/CAD/MAINT COMMENTS	
5	07/11/2018	REVISED PER IFC/CAD/MAINT COMMENTS	
6	07/11/2018	REVISED PER IFC/CAD/MAINT COMMENTS	
7	07/11/2018	REVISED PER IFC/CAD/MAINT COMMENTS	
8	07/11/2018	REVISED PER IFC/CAD/MAINT COMMENTS	
9	07/11/2018	REVISED PER IFC/CAD/MAINT COMMENTS	
10	07/11/2018	REVISED PER IFC/CAD/MAINT COMMENTS	
11	07/11/2018	REVISED PER IFC/CAD/MAINT COMMENTS	
12	07/11/2018	REVISED PER IFC/CAD/MAINT COMMENTS	
13	07/11/2018	REVISED PER IFC/CAD/MAINT COMMENTS	
14	07/11/2018	REVISED PER IFC/CAD/MAINT COMMENTS	
15	07/11/2018	REVISED PER IFC/CAD/MAINT COMMENTS	
16	07/11/2018	REVISED PER IFC/CAD/MAINT COMMENTS	
17	07/11/2018	REVISED PER IFC/CAD/MAINT COMMENTS	
18	07/11/2018	REVISED PER IFC/CAD/MAINT COMMENTS	
19	07/11/2018	REVISED PER IFC/CAD/MAINT COMMENTS	
20	07/11/2018	REVISED PER IFC/CAD/MAINT COMMENTS	

MATHEWS DESIGN GROUP, INC.

710.804.1156, 7 WALDO STREET
ST. AUGUSTINE, FLORIDA 32084

PHONE: 904.826.4344
FAX: 904.826.4547
INFO@MATHEWSDESIGN.COM

COSA SWPP

ALPHA-OMEGA HOUSE
ST. JOHNS COUNTY, FLORIDA

APPROVED BY: ALPHA-OMEGA PRACTICE HOME, INC.

CITY OF ST. AUGUSTINE

STORM WATER POLLUTION PREVENTION PLAN

DATE: FEB 2017
BY: [Signature]
REVISED BY: [Signature]

40 OF 60



NO.	DATE	REVISIONS
1	07/11/2018	REVISED PER A.C.O.S.A. AND V.A.P. COMMENTS
2	07/11/2018	REVISED PER A.C.O.S.A. AND V.A.P. COMMENTS
3	07/11/2018	REVISED PER A.C.O.S.A. AND V.A.P. COMMENTS
4	07/11/2018	REVISED PER A.C.O.S.A. AND V.A.P. COMMENTS

NOTE TO CONTRACTOR:
THIS DOCUMENTATION IS FOR THE USE OF THE CONTRACTOR. IT IS THE CONTRACTOR'S RESPONSIBILITY TO OBTAIN ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES.

PAGE 4 OF 4

DATE: _____

REVISIONS:

REVISIONS FOR CHANGES:

CHANGES RELATED TO THE POLLUTION PREVENTION PLAN:

STORM WATER POLLUTION PREVENTION PLAN REVISION AND MAINTENANCE REPORT FORM

PAGE 3 OF 4

TO BE PERFORMED BY: _____ ON OR BEFORE: _____

MAINTENANCE REQUIRED FOR SELECTED CONSTRUCTION PHASE:

DOCS WHICH SHOULD BE REVIEWED	IS THE CHECKLIST COMPLETE?	DOES ALL TYPING MATCH THE ORIGINAL?	DOES THE CHECKLIST MATCH THE ORIGINAL?	DOES THE CHECKLIST MATCH THE ORIGINAL?
NO. 1	NO	NO	NO	NO
NO. 2	NO	NO	NO	NO
NO. 3	NO	NO	NO	NO
NO. 4	NO	NO	NO	NO

OTHER CHECKS:

TO BE PERFORMED BY: _____ ON OR BEFORE: _____

MAINTENANCE REQUIRED FOR SELECTED PHASE:

NO.	DOCS WHICH SHOULD BE REVIEWED	IS THE CHECKLIST COMPLETE?	DOES ALL TYPING MATCH THE ORIGINAL?	DOES THE CHECKLIST MATCH THE ORIGINAL?
NO. 1	NO	NO	NO	NO
NO. 2	NO	NO	NO	NO
NO. 3	NO	NO	NO	NO
NO. 4	NO	NO	NO	NO

STORM WATER POLLUTION PREVENTION PLAN REVISION AND MAINTENANCE REPORT FORM

PAGE 2 OF 4

TO BE PERFORMED BY: _____ ON OR BEFORE: _____

MAINTENANCE REQUIRED FOR EACH INDICATED METHOD/PHASE/PHASE CHECKS:

NO.	DOCS WHICH SHOULD BE REVIEWED	IS THE CHECKLIST COMPLETE?	DOES ALL TYPING MATCH THE ORIGINAL?	DOES THE CHECKLIST MATCH THE ORIGINAL?
NO. 1	NO	NO	NO	NO
NO. 2	NO	NO	NO	NO
NO. 3	NO	NO	NO	NO
NO. 4	NO	NO	NO	NO

MAINTENANCE REQUIRED FOR EACH PHASE:

NO.	DOCS WHICH SHOULD BE REVIEWED	IS THE CHECKLIST COMPLETE?	DOES ALL TYPING MATCH THE ORIGINAL?	DOES THE CHECKLIST MATCH THE ORIGINAL?
NO. 1	NO	NO	NO	NO
NO. 2	NO	NO	NO	NO
NO. 3	NO	NO	NO	NO
NO. 4	NO	NO	NO	NO

STORM WATER POLLUTION PREVENTION PLAN REVISION AND MAINTENANCE REPORT FORM

PAGE 1 OF 4

TO BE PERFORMED BY: _____ ON OR BEFORE: _____

STATION/LOCATION:

NO.	DOCS WHICH SHOULD BE REVIEWED	IS THE CHECKLIST COMPLETE?	DOES ALL TYPING MATCH THE ORIGINAL?	DOES THE CHECKLIST MATCH THE ORIGINAL?
NO. 1	NO	NO	NO	NO
NO. 2	NO	NO	NO	NO
NO. 3	NO	NO	NO	NO
NO. 4	NO	NO	NO	NO

DATE SINCE LAST MAINTENANCE: _____

REPORTING ORGANIZATION: _____

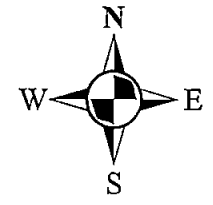
DATE: _____

STORM WATER POLLUTION PREVENTION PLAN REVISION AND MAINTENANCE REPORT FORM

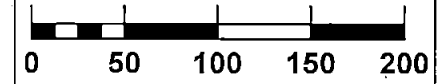
EXHIBIT D

Outside City Limits
Within City Utility Service Area

Inside City Limits and
Inside City Utility Service Area



1 inch = 100 feet



User: cborrer Date: 11/7/2019

Approximate location of new connection to existing Forcemain for AMOH

Note: the existing 16-inch Forcemain is Outside of City limits, within the City's Utility Service area approximately 15 feet, and is within St. Johns County building department's jurisdiction.

Varella Ave

Del Monte Dr

School House Rd

Estates St

This City Utility Map is provided "as-is" and is specifically intended only to identify City infrastructure from the City's geodatabase. Any utilities owned by other entities, private or public, are not shown. This map has been compiled from various sources, and the accuracy of these sources varies. This map does not depict as-built conditions or replace record drawings. This map does not replace the need for survey by a professional land surveyor, and should not be used for design purposes. This map is not a determination of capacity or utility availability, and is not a commitment for utility service. Utility construction plans by a licensed Florida Civil Engineer may be required for approval by City Public Works prior to any construction activities. Call (904) 825-1040 for further information.

LEGEND

- City Limits
- Water**
 - Fire Hydrant
 - Hydrant Line
 - 2" Water Main
 - 4" Water Main
 - 6" Water Main
 - 8" Water Main
 - 10" Water Main
 - 12" Water Main
 - 16" Water Main
 - Material other than PVC or HDPE
 - Water Meter
 - Water Service Line
- Sanitary Sewer**
 - Pump Station
 - Manhole
 - Gravity Main (clay)
 - Gravity Main (clay/PVC lined)
 - Gravity Main (PVC)
 - Pressurized Main
 - Cleanout
 - Lateral Service



City of St. Augustine



St. Augustine, Florida
Nation's Oldest City

Public Works

1565 - 2015
450 years

Approval Date: July 9, 2019

Expiration Date: July 9, 2021

[Sent Via Email]

Chris Buttermore, P.E.
Matthews Design Group, Inc.
7 Waldo Street
St. Augustine, FL 32084

RE: PW2018-2003; Alpha Omega House at 2860 Collins Avenue;
City of St. Augustine Public Works; Approval Letter

Dear Mr. Buttermore:

The City of St. Augustine Public Works Department staff has completed final review of the plans for the subject project. Following a thorough review process, staff has established that the plans are acceptable and meet with the City's approval.

City Public Works approval is based strictly on the Construction Plans and other associated calculations, specifications and documents which have been reviewed by Public Works as part of this project.

With this Approval, the City expects that all land development and construction activities will be consistent with and in compliance to the following:

1. Issuance of a development permit by a municipality does not in any way create any right on the part of an applicant to obtain a permit from a state or federal agency and does not create any liability on the part of the municipality for issuance of the permit if the applicant fails to obtain requisite approvals or fulfill the obligations imposed by a state or federal agency or undertakes actions that result in a violation of state or federal law. All other applicable state and federal permits shall be obtained before commencement of the development.
2. By commencing construction, the developer is agreeing to abide by the requirements in this approval letter, and the approved plans, details, specifications and materials. Construction work must be performed in strict accordance with this approval. Any deviation must be proposed in advance and approved by the City prior to execution.
3. The project must be constructed to completion, following a diligent work schedule and approved construction phasing. If construction phasing is not clearly delineated on the approved plans, then the project must be constructed in totality without work stoppage. Proper sequencing of construction must be maintained so that facilities do not rely on future construction; phases or portions must function wholly independent of future construction. Construction shall follow plat boundaries or

other means of conveying ownership and maintenance responsibilities shown on the plans. Should phases or construction sequence change at any time, a permit modification will be required prior to continuing construction activities.

4. Plan approvals are valid for two years from the date of the Public Works Approval Letter. Upon the Expiration Date, stated above, if construction has not commenced and is progressing in a logical, diligent manner; if work stoppage occurs; then the plan approval expires. Work stoppage means any unplanned (non-phased) time period when construction comes to a halt and/or public improvements such as roads and utilities have not been accepted by the City. Conversely, steady construction progress automatically extends the Public Works permit beyond the initial Expiration Date through completion of the project.
5. FDEP utility permit applications (three (3) copies) may be submitted following plan approval. Contact Public Works Permit Technician, (904) 209-4375 or PWpermits@citystaug.com for the City's FDEP forms.
6. Payment of utility connection fees is required prior to scheduling City Public Works Pre-Construction Meeting, and/or prior to obtaining Building permits. The Final Availability Statement will be written following plan approval and transmitted under separate cover. Contact (904) 209-4278 or UtilConnect@citystaug.com with any questions.
7. Payment of Construction Fees is required prior to scheduling the City Public Works Pre-Construction Meeting. The fee calculation will be stated in the email transmitting this approval letter.
8. Developer is responsible for all aspects of utility design and construction. City will inspect the utility construction and provide service **following** final acceptance of utility construction by City.
9. Construction work must follow all specifications and details in the City's Standards and Specifications Design Manual and Details, latest edition, and all pertinent sections of the City of St. Augustine Code of Ordinances:
http://www.citystaug.com/document_center/Publicworks/Development/UtilityConstruction/COSAUtilityManual.pdf
<http://library.municode.com/index.aspx?clientId=10951>
10. Pre-Construction Meeting with Public Works is required. See the City's "Construction and Dedication Requirements" for required submittals and procedures for Pre-Con Meeting, utility construction, acceptance and dedication:
http://www.citystaug.com/document_center/Publicworks/Development/UtilityConstruction/COSAUtilConstr&DedReqPrivateDev.pdf
11. A Performance Bond is required from the utility contractor, prior to scheduling the Pre-Construction Meeting. A Maintenance Bond will be required upon completion of construction. Refer to City bond requirements:
[http://www.citystaug.com/document_center/Publicworks/Development/UtilityConstruction/COSABondRequirements\(PrivateDeveloperProjects\).pdf](http://www.citystaug.com/document_center/Publicworks/Development/UtilityConstruction/COSABondRequirements(PrivateDeveloperProjects).pdf)
12. Submit backflow prevention device specifications for City approval along with materials and shop drawing submittals prior to Pre-Con Meeting. Assemblies must be tested immediately after

Chris Buttermore, P.E.
July 9, 2019
PW2018-2003; Alpha Omega House at 2860 Collins Avenue;
City of St. Augustine Public Works Review; Approval Letter
Page 3 of 3

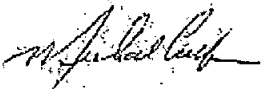
installation by a certified backflow prevention assembly tester, with the test report submitted to the City. All correspondence should be addressed to Glabra Skipp, Environmental Compliance Analyst at (904) 825-1055 or gskipp@citystaug.com

13. Submit grease trap / in-ground grease interceptor plan details and device specifications for City approval along with materials and shop drawing submittals prior to Pre-Con Meeting. The device must be approved by a nationally or internationally recognized testing agency. Device must be inspected after installation by the City. All correspondence should be addressed to Glabra Skipp, Environmental Compliance Analyst at (904) 825-1055 or gskipp@citystaug.com
14. You are hereby notified that if additional permits are necessary from other government agencies, a copy of such approved permits will be required prior to scheduling the Pre-Construction Meeting with City Public Works.
15. Plan ahead for proposed locations of power transformers and/or any other type of power supply or telecommunications equipment. This equipment shall not interfere with City utility placement, operations and maintenance, and shall not be located within City rights-of way or City utility easements or tracts, unless approved otherwise in advance by the City and depicted on the approved plan set. Contact FP&L (Ms. Alyssa Fink, Alyssa.Fink@fpl.com (904) 824-7689) to coordinate power supply for the project.

Please note that this approval letter is only for criteria required by the City of St. Augustine Public Works Department and is not for any additional criteria that may be required by other government agencies as relevant to this project.

Should you have any questions or require further information, please feel free to contact Jonathan Foster, P.E. at (904) 209-4273 or jfoster@citystaug.com. Contact Kim Oglesby, Public Works Permit Technician, (904) 209-4375 or PWpermits@citystaug.com regarding all Pre-Construction Meeting requirements and scheduling. We look forward to working with you on the successful completion of this project.

Sincerely,



Michael G. Cullum, P.E.
Director, Public Works

MC: kmo

XC: John P. Regan, P. E., City Manager
Timothy A. Burchfield, Assistant City Manager
Bobbie-Jo Manning, Development and Management Support Manager
Jonathan Foster, P.E., Project Development Engineer
Glabra Skipp, Environmental Compliance Analyst
Daniel Borrer, Development & Utility Coordinator
Kim Oglesby, Public Works Permit Technician
Lisa Franklin Director (via email)
Project File

Enclosure

EXHIBIT F



Alpha-Omega
MIRACLE HOME

1797 Old Moultrie Road, Suite 107, St. Augustine, Florida 32084
Ph 904.823.8588 * Fax 904.823.8984 * www.aomh.org

**Attachment for Section 7- Environmental Review
CDBG 2019-2020 Application**

Regarding the question, is the project/property on a properly zoned site for the type of project proposed?

Yes, the project/property is on a properly zoned site.

AOMH Planning/Development Committee along with Rob Matthews, Civil Engineer met with Jeb Smith, County Commissioner, and Suzanne Konchan, SJC Growth Management Director.

The outcome of this meeting was that AOMH did not have to apply for a PUD. The property site plan is allowable under future land use. The majority of the property is zoned properly though there is a parcel that will have to be rezoned.

Does the project involve new construction or expanding the footprint of an existing structure?

Yes, the project involves new construction.

Alpha-Omega Miracle Home
2860 Collins Avenue
St. Augustine, FL 32084

District 5
County Commissioner:



Henry Dean

